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## AGENDA

### COMMUNITY AND ECONOMIC DEVELOPMENT SUBCOMMITTEE

March 13, 2024

5:00 PM

City Hall

First Floor Conference Room, 4B

65 Civic Avenue

Pittsburg, CA 94565

#### Subcommittee Members

Jelani Killings, Vice Mayor

Dionne Adams, Councilmember

#### Planning Commission Representatives on Land Use

Ivelina Popova, Commissioner

Elissa Robinson, Commissioner

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#### 1. Public Comment for Non-Agenda Items

#### 2. Land Use *(Vice Mayor Killings, Councilmember Adams, Commissioner Popova, Commissioner Robinson)*

a. **East Street Estates.** Staff is currently processing an application for design review for the development of eight single family detached homes within a previously subdivided property located along East Street between 8<sup>th</sup> and 9<sup>th</sup> Streets. *Subcommittee feedback requested.*

b. **Pedestrian Commercial (CP) Zone Assessment.** Staff is proposing the Performance Standards for selected ground-floor uses on Railroad Avenue including outdoor seating. *Subcommittee feedback requested.*

#### 3. Economic Development *(Vice Mayor Killings, Councilmember Adams)*

a. **Economic Development Updates.** The City has received and rated a complete application for the Façade Improvement Grant Program. Staff is seeking feedback from members of the subcommittee on the proposed scope of work. *Subcommittee feedback requested.*

b. **City of Pittsburg Business Friendly Results Report.** Staff will provide an overview of the report. *Information item.*

#### 4. Subcommittee and Staff Reports or Remarks

#### 5. Adjournment



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Community and Economic Development Department – Planning Division

## MEMORANDUM

**Date:** March 13, 2024  
**To:** Community and Economic Development Subcommittee Members  
**From:** Alison Hodgkin, Associate Planner  
**Re:** Item 2.a - East Street Estates

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### **BACKGROUND**

In March and May of 2000, the Planning Commission adopted a series of resolutions granting approval of a Use Permit, Design Review, Vesting Tentative Map and two Variances allowing the applicant, Veritel Homes, LLC, to develop an eight-lot, single-family residential, subdivision known as “East Street Estates” (proposed Project).

The Final Subdivision Map for East Street Estates was recorded on June 30, 2006, creating the eight vacant parcels located at 399, 403, 407, 411 East 9th Street and 400, 404, 408, 412 East 8th Street. However, the Design Review term of approval expired on June 30, 2009.

On October 17, 2019, the applicant filed Planning Application No. 19-1470, requesting Design Review approval for the previously approved, eight, detached, single-family dwellings on eight, vacant parcels. The application was deemed complete in July 2021.

### **PROJECT SITE/EXISTING CONDITIONS**

The approximately 0.63-acre project site is vacant and undeveloped and includes eight individual lots previously subdivided (Subdivision 8409). Individual lots range from 3,440 sq. ft. to 3,560 square feet (sq. ft.) in size. Six of the eight lots are 3,440 sq. ft. and the two remaining lots, on the far west end of the project site adjacent to East Street, are 3,560 sq. ft. and 3,496 sq. ft. respectively.

The land is generally flat and contains ruderal vegetation, two mature Cedar trees and one mature Oak tree (protected trees not approved for removal). Existing sidewalks surround the property on the north, west and south sides of the project site.

Six PG&E light poles line the perimeter of the property and are connected to the larger network of overhead utility lines characteristic of older neighborhoods in the *Downtown Subarea*.

Correspondence in the project file from April 2008 indicates PG&E approval to allow the applicant to install electrical conduit behind the sidewalk fronting each lot for future undergrounding of overhead PG&E facilities. However, pursuant to Pittsburg Municipal Code (PMC) 17.28.020(G), General Plan Section 11.5, Policy 11-P-33, and as a condition of approval the engineering division is requiring, the applicant to underground all existing and proposed utilities within the project area and along frontage streets surrounding the project site. This requirement would be a condition of approval prior to building permit issuance.

### **PROPOSED PROJECT**

The architectural plans for the proposed project include five, two-story, single-family residence models. Each proposed residence would range in size from 2,552 sq. ft. to 2,720 sq. ft. The house model designs are characterized by a mixture of hipped and gable-end roofs with concrete tile roofing material, stucco siding and trim, board and batten siding, columns with cultured stone veneer, gable vents and two variations of garage doors with window lights. Models 1A and 2B include wooden railing at porch, and all models, except for Model 1A, include shutters and corbels.

Six of the eight residences would include four bedrooms and two residences would include three bedrooms. All eight residences would include a two-car garage, front porch, four bedrooms, three full bathrooms (with the exception of Model 1A which provides two full and one-half bathroom), kitchen, dining area, living room, washer and dryer, as well as space for three trash bins and a private, fenced yard. Note: the residences on Lots 1 and 8 would also include an approximately 278-sq. ft. attached Accessory Dwelling Unit (ADU) to meet the city's affordable housing requirements in PMC Chapter 18.86.

Each lot would conform to existing property development regulations for the RS-4 District which include a 28-ft. maximum height limit, 15-ft. minimum front yard, 10-ft. required rear yard and a 4-ft.-4-inch (in.) to 4-ft. - 6-in. minimum side yard setback (10% of the lot width). Each lot would include front and corner yard drought-tolerant landscaping, wood composite materials and automatic irrigation systems consistent with landscape standards in Chapter 18.84 PMC.

The proposed Project would be subject to conditions of approval requiring the widening of East Street to allow two-way traffic, reconstruction of the sidewalk, curb, gutter and driveway approaches on East 9th Street and crosswalk re-striping to the 8th Street Greenbelt open space area.

### **RECOMMENDATION**

Staff requests subcommittee members provide feedback on the proposed project.

**Attachment:**  
Project Plan Set

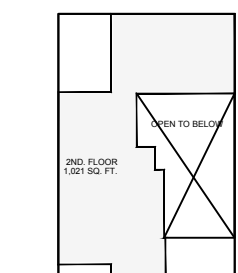




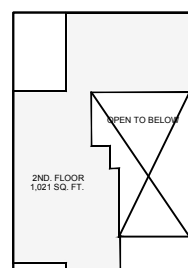
DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

DATE	10/03/2023
SCALE	As Noted
DRAWN BY	S. Cruz
CHECKED BY	T. Kenslinke
CAD FILE	.dwg
PROJECT NAME	East Street Estates
PROJECT NUMBER	Arcxen201906

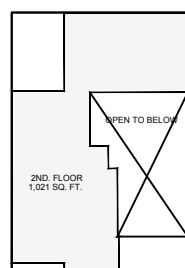
**A1.1.1**  
PROJECT DEVELOPMENT  
DATA & AREAS



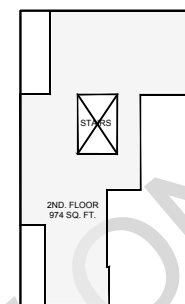
2ND FLOOR PROPOSED AREA  
N.T.S.



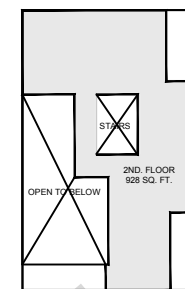
PROPOSED 2ND FLOOR AREA  
N.T.S.



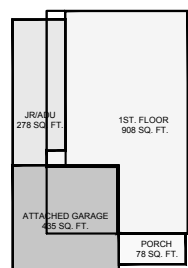
PROPOSED 2ND FLOOR AREA  
N.T.S.



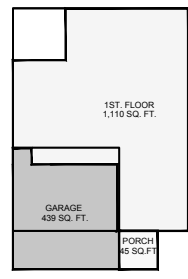
PROPOSED 2ND FLOOR AREA  
N.T.S.



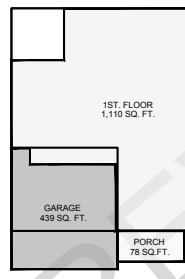
PROPOSED 2ND FLOOR AREA  
N.T.S.



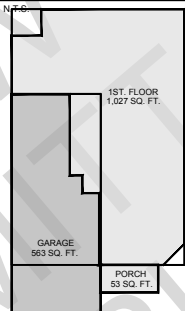
1ST FLOOR PROPOSED AREA  
N.T.S.



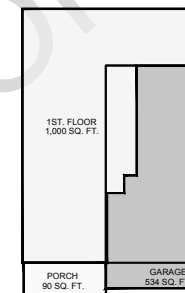
PROPOSED 1ST FLOOR AREA  
N.T.S.



PROPOSED 1ST FLOOR AREA  
N.T.S.



PROPOSED 1ST FLOOR AREA  
N.T.S.



PROPOSED 1ST FLOOR AREA  
N.T.S.

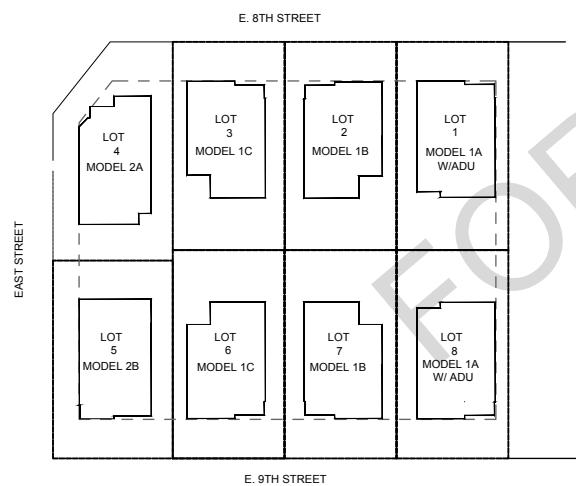
1 MODEL 1A W/ ADU  
LOTS No's  
1 & 8

2 MODEL 1B  
LOTS No's 2 & 7

3 MODEL 1C  
LOTS No's 3 & 6

4 MODEL 2A  
CORNER LOT  
NO. 4

5 MODEL 2B  
CORNER LOT  
NO. 5



KEY PLAN  
N.T.S.

PROJECT DEVELOPMENT DATA AND PROPOSED AREAS CALCULATION:																				
ZONING CLASSIFICATION: RS-4 DISTRICT LOT = 27,697 SQ. FT.																				
SUBDIVISION: SINGLE FAMILY RESIDENTIAL EXISTING SUBDIVISION #8409																				
LOT	HOME MODEL	APN	ADDRESS	LOT AREA (SQ. FT.)	ZONING REQUIREMENTS (PMC Title 18 Schedule 18.50.105)				PROPOSED FLOOR AREAS (Sq. Ft.)					PROPOSED TOTAL FLOOR AREA (Sq. Ft.)	PROPOSED MAX. HT. (FT. IN.)	PROPOSED LOT COVERAGE (%)	PROPOSED F.A.R.	SCHEMATIC DIAGRAM (BELOW)		
					Setbacks Front	Setbacks Side	Setbacks Rear (1)	Max. Height (ft.)	Lot Coverage [Max. %]	1st Floor Living	2nd Floor Living	Attached 2-Car Garage	Porch						Attached ADU(Junior)	
1	MODEL 1A	085-186-032	412 E. 8TH ST.	3,440	15'-0"	4'-4"	10'-0"	28	50	908	1,021	435	78	278	2,720	26'-5"	49	0.79	1/-	
2	MODEL 1B	085-186-033	408 E. 8TH ST.	3,440	15'-0"	4'-3"	10'-0"	28	50	1,110	1,021	439	45		2,615	26'-5"	46	0.76	2/-	
3	MODEL 1C	085-186-034	404 E. 8TH ST.	3,440	15'-0"	4'-4"	10'-0"	28	50	1,110	1,021	439	78		2,648	26'-5"	47	0.77	3/-	
4	MODEL 2A	085-186-035	400 E. 8TH ST.	3,561	15'-0"	10'-0"/4'-6"	10'-0"	28	50	1,027	974	563	53		2,617	26'-10"	46	0.73	4/-	
5	MODEL 2B	085-186-036	399 E. 9TH ST.	3,496	15'-0"	10'-0"/4'-6"	10'-0"	28	50	1,000	928	534	90		2,552	26'-1"	46.5	0.73	5/-	
6	MODEL 1C	085-186-037	403 E. 9TH ST.	3,440	15'-0"	4'-4"	10'-0"	28	50	1,110	1,021	439	78		2,648	26'-5"	47	0.77	3/-	
7	MODEL 1B	085-186-038	407 E. 8TH ST.	3,440	15'-0"	4'-3"	10'-0"	28	50	1,110	1,021	439	45		2,615	26'-5"	46	0.76	2/-	
8	MODEL 1A	085-186-039	411 E. 8TH ST.	3,440	15'-0"	4'-4"	10'-0"	28	50	908	1,021	435	78	278	2,720	26'-5"	49	0.79	1/-	
Total= 27,697										TOTAL ADU'S FOR INCLUSIONARY HOUSING AREA=556					Total=21,135					

NOTES:  
(1) Tentative Map approved prior 6/20/2007

PROJECT DEVELOPMENT DATA AND AREAS CALCULATION

SCALE: NOT TO SCALE

**GRADING NOTES:**

- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL, TO BE DONE IN ACCORDANCE WITH THE CITY OF PITTSBURG GRADING ORDINANCE CHAPTER 15.88.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- ANY DEVIATION FROM APPROVED PLAN REQUIRES APPROVAL OF THE CITY ENGINEER.
- SILT AND TEMPORARY EROSION CONTROL PLANS REQUIRED FOR WORK DURING RAINY SEASON (OCTOBER 1, THROUGH APRIL 15).
- ALL GRADING OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE SOILS ENGINEER, TERRASEARCH INC., AND ARE SUBJECT TO HIS OBSERVATION.
- THE CONTRACTOR IS TO BE FAMILIAR WITH TERRASEARCH SOILS REPORT PROJECT NO. 8571.01, APRIL 4, 2000 AND ANY SUBSEQUENT AMENDMENTS THERE TO.
- THE CONTRACTOR IS REQUIRED TO TAKE THE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES NOT SHOWN AT THE SITE.
- PRIOR TO ISSUANCE OF BUILDING PERMITS, THE ENGINEER SHALL PROVIDE CERTIFICATION THAT LINES AND GRADES WERE SET IN THE FIELD IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND THAT THE PADS WERE GRADED TO WITHIN 0.1 FEET OF THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN. ALSO, A GRADING REPORT PREPARED BY THE SOILS ENGINEER SHALL BE SUBMITTED TO INCLUDE LOCATIONS AND ELEVATIONS OF FIELD DENSITY TESTS AND STATEMENT THAT THE SITE IS ADEQUATE FOR THE INTENDED USE AND THAT PADS ARE PROPERLY COMPACTED.
- ALL ORGANIC MATERIAL, INCLUDING GRASS AND WEEDS SHALL BE STRIPPED PRIOR TO ANY GRADING OPERATION AND TRANSPORTED AWAY FROM AREAS THAT ARE TO RECEIVE STRUCTURE OR ENGINEERED FILL. STRIPPING SHALL BE USED FOR LANDSCAPING OR MOUNDING IN NON-STRUCTURAL FILLS ONLY.
- STAKING FOR GRADING WILL BE PROVIDED BY ALIQUOT. 48 HOURS NOTICE IS REQUIRED PRIOR TO THE TIME THE STAKES ARE REQUIRED. ONE SET OF STAKES WILL BE PROVIDED; ANY ADDITIONAL STAKING COSTS WILL BE AT THE CONTRACTORS' EXPENSE.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT REY COSTANTINO OF ALIQUOT ASSOC. FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- IF DURING CONSTRUCTION, GRADING OR EXCAVATION, ANY ITEMS OF POTENTIAL HISTORIC OR SCIENTIFIC INTEREST ARE DISCOVERED, THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE NOTIFIED AND THE DIRECTOR SHALL HAVE THE AUTHORITY TO STOP WORK IN THE AREA OF ANY FIND, PENDING VERIFICATION OF THE DISCOVERY AND ESTABLISHMENT OF DEVELOPMENT METHODS FOR PROTECTION AND TREATMENT OF AREAS OF SIGNIFICANT INTEREST.
- NOT USE
- STOCKPILING OF MATERIALS SHALL BE SUBJECT TO CITY APPROVAL AND SHALL BE REMOVED OR RELICATED WHEN REQUIRED FOR PUBLIC HEALTH OR SAFETY.
- ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTAINED IN SUCH A MANNER AS TO PREVENT ANY NUISANCE FROM DUST, OR SPILLAGE UPON ADJOINING PROPERTY OR STREETS. EQUIPMENT AND MATERIALS ON THE SITE SHOULD BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST.
- ALL GRADING AND NOISE THEREFROM, INCLUDING, BUT NOT LIMITED TO WARNING EQUIPMENT MOTORS IN RESIDENTIAL ZONES OR WITHIN ONE THOUSAND (1,000) FEET OF ANY RESIDENTIAL OCCUPANCY HOTEL, HOTEL OR HOSPITAL, SHALL BE LIMITED BETWEEN THE HOURS OF 7:00 A.M. AND 5:30 P.M. WEEKDAYS UNLESS OTHER HOURS ARE APPROVED BY THE CITY ENGINEER, UPON RECEIPT OF EVIDENCE THAT AN EMERGENCY EXISTS WHICH WOULD CONSTITUTE A HAZARD TO PERSONS OR PROPERTY.
- WHENEVER ANY PORTION OF THE WORK REQUIRES ENTRY INTO ADJACENT PROPERTY FOR ANY REASON, THE PERMIT APPLICANT SHALL OBTAIN A RIGHT OF ENTRY FROM THE ADJACENT PROPERTY OWNER OR HIS AUTHORIZED REPRESENTATIVE IN A FORM ACCEPTABLE TO THE CITY, AND SHALL FILE A COPY OF THE FULLY EXECUTED RIGHT OF ENTRY WITH THE CITY PRIOR TO ISSUANCE OF THE GRADING PERMIT AND/OR APPROVAL OF THE GRADING PLAN.
- PONDING OF STORM WATER, EXCEPT WITHIN SEDIMENT DETENTION BASINS, PARTICULARLY DURING WORK STOPPAGE FOR RAINY WEATHER, SHOULD NOT BE PERMITTED. BEFORE THE GRADING IS HALTED BY RAIN, POSITIVE SLOPES SHOULD BE PROVIDED TO CARRY THE SURFACE RUNOFF TO STORM DRAINAGE STRUCTURES IN A CONTROLLED MANNER AND TO PREVENT EROSION DAMAGE.
- ALL SURFACE DEBRIS, VEGETATION, AND SOFT OR COMPRESSIBLE SOIL IN AREAS TO BE GRADED SHOULD BE REMOVED AS NECESSARY FOR PROJECT REQUIREMENTS.
- TREE ROOTS SHOULD BE REMOVED TO AT LEAST 3 FEET BELOW PROPOSED GRADE AT CUT LOTS AND AT LEAST 3 FEET BELOW EXISTING GRADE IN FILL LOTS. THE DEPTH OF REMOVAL OF THESE MATERIALS SHOULD BE DETERMINED BY THE SOILS ENGINEER.
- ACTUAL DEPTHS OF REMOVAL OF STRIPPING WILL BE DETERMINED BY THE SOILS ENGINEER IN THE FIELD DURING GRADING. SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT, STRIPPINGS AND ORGANICALLY-CONTAMINATED SOILS WHICH ARE NOT SUITABLE FOR USE AS ENGINEERED FILL MAY BE USED IN LANDSCAPE AREAS. ANY TOPSOIL WHICH WILL BE RETAINED FOR FUTURE USE IN LANDSCAPE AREAS WHERE IT WILL NOT INTERFERE WITH THE MASS GRADING.
- NOT USE
- EXCAVATIONS RESULTING FROM DEMOLITION AND STRIPPING WHICH EXTEND BELOW FINAL GRADES SHOULD BE CLEANED TO FIRM UNDISTURBED SOIL AS DETERMINED BY THE SOILS ENGINEER. FOLLOWING CLEARING AND GRUBBING, ALL DEPRESSIONS IN AREAS TO BE FILLED SHOULD BE SCARIFIED, MOISTURE CONDITIONED AND BACKFILLED WITH COMPACTED, ENGINEERED FILL.
- AREAS TO RECEIVE FILL SHOULD BE SCARIFIED TO A DEPTH OF 12 INCHES, MOISTURE-CONDITIONED AND RECOMPACTED TO PROVIDE ADEQUATE BONDING WITH THE INITIAL LIFT OF FILL. ALL FILLS SHOULD BE PLACED IN THIN LIFTS. THE LIFT THICKNESS SHOULD NOT EXCEED 8 INCHES OR THE DEPTH OF PENETRATION OF THE COMPACTION EQUIPMENT USED, WHICHEVER IS LESS.
- ALL PAVEMENT SUBGRADES SHOULD BE SCARIFIED TO A DEPTH OF 12 INCHES BELOW FINISHED SUBGRADE ELEVATION, MOISTURE CONDITIONED TO 3 PERCENT ABOVE OPTIMUM, AND COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION AND IN ACCORDANCE WITH CITY REQUIREMENTS.
- PONDING OF STORM WATER MUST NOT BE PERMITTED ON THE LOTS OR PAVED AREAS DURING PROLONGED PERIODS OF INCLEMENT WEATHER.
- STRIPPINGS AND TOPSOIL SHALL BE STOCKPILED ON THE APPROVED LOCATION, THEN PLACED IN ACCORDANCE WITH ENGED'S RECOMMENDATIONS TO A MINIMUM THICKNESS OF 6 INCHES OVER EXPOSED OPEN SPACE CUT SLOPES WHICH ARE 3:1 OR FLATTER, AND TRACK WALKED TO THE SATISFACTION OF ENGED.
- ALL AREAS MUST BE FINISHED GRADED TO ELEVATIONS AND GRADES INDICATED ON THE DRAWINGS. IN AREAS TO RECEIVE TOPSOIL AND LANDSCAPE PLANTING, FINISH GRADING SHALL BE PERFORMED TO A UNIFORM 6 INCHES BELOW THE GRADES AND ELEVATIONS INDICATED ON THE DRAWINGS, AND BROUGHT TO FINAL GRADE WITH TOPSOIL.
- EXCESS EARTH MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER. LOCATION OF BUMP SITE AND LENGTH OF HAUL ARE THE CONTRACTOR'S RESPONSIBILITY.
- EARTHWORK: CUT = 483 C.Y. FILL = 275 C.Y. CONTRACTOR TO PERFORM HIS OWN DIRT TAKE-OFF TO HIS OWN SATISFACTION.
- FOR STREET IMPROVEMENT PLANS, SEE ALIQUOT DRAWINGS IP-1 TO IP-5.
- BENCHMARK: BRASS DISC ON STAIRS OF POST OFFICE - BM #4, ELEVATION 22.27 FT.

# SUBDIVISION 8409

## "EAST STREET ESTATES" GRADING PLANS

CITY OF PITTSBURG CONTRA COSTA COUNTY CALIFORNIA

APRIL 2004

OWNER/DEVELOPER

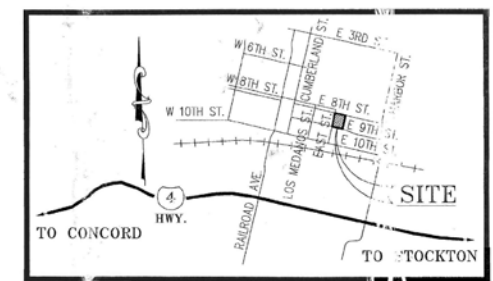
CHATEL PROPERTIES INC.  
951 LA GONDA WAY  
DANVILLE, CA. 94526  
(925) 314-9500  
(925) 314-9500 (FAX)

CIVIL ENGINEERS

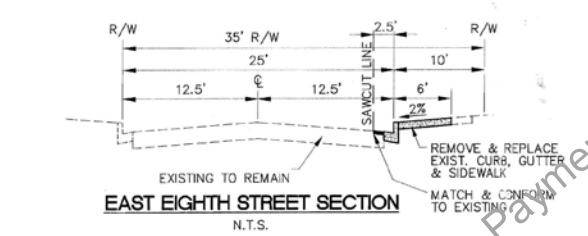
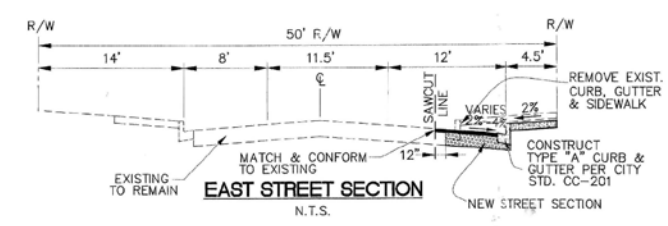
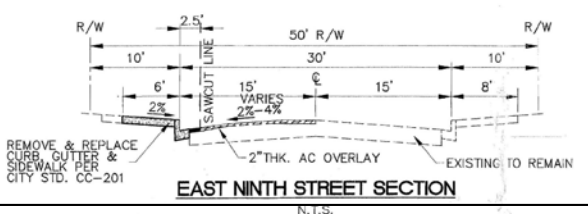
ALIQUOT ASSOCIATES, INC.  
1390 SOUTH MAIN STREET, SUITE 310  
WALNUT CREEK, CA. 94596  
(925) 476-2300  
(925) 476-2350 (FAX)

SOILS ENGINEER

TERRASEARCH, INC.  
11840 DUBLIN BLVD.  
DUBLIN, CA. 94568  
(925) 833-9297  
(925) 833-9548 (FAX)  
PROJECT NO. 8571.01



VICINITY MAP  
NO SCALE



**SHEET INDEX:**

- G1: TITLE SHEET/NOTES
- G2: GRADING PLAN & DETAILS
- EC-1: EROSION CONTROL PLAN
- EC-2: EROSION CONTROL DETAILS

**APPLICABLE CITY STANDARD DETAILS:**

- CC 201 STANDARD CURB AND GUTTER
- CC 202 RESIDENTIAL DRIVEWAY APPROACH (MODIFIED) CURB, GUTTER AND SIDEWALK
- CC 204 WHEEL CHAIR RAMP
- CC 206 & CC 206A CONSTRUCTION JOINT: NEW SIDEWALKS TO EXISTING CURB & GUTTER
- CC 207 STANDARD SANITARY SEWER MANHOLE
- S 301 SANITARY SEWER ROUING INLET
- S 303 SANITARY SEWER SERVICE
- S 304 TIME REQUIREMENTS FOR AIR TEST (SEWER)
- S 305 PLASTIC PIPE FOR SEWER
- W 401 CONCRETE BRUST BLOCKING
- W 405 RESIDENTIAL HYDRANT INSTALLATION
- W 406 WATER METER INSTALLATION
- W 409 VALVE THRUST ANCHOR
- T 603 PARKING DELINEATION PATTERNS
- T 605 STOP INTERSECTION
- T 606 TRAFFIC SIGNS
- T 607 STREET NAME SIGNS
- M 701 HURLOW TRENCH
- M 712 STREET LIGHT STANDARD

ABBREVIATION INDEX			
AT	AGGREGATE BASE	MB	MALBOX
ABS	ACRYLONITRILE BUTADIENE STYRENE	MH	MANHOLE
AC	ASPHALT CONCRETE	MN	MINIMUM
ARV	AIR RELEASE VALVE	NIS	NOT TO SCALE
BC	BEGINNING OF CURVE	NIC	NOT IN CONTACT
BCR	BEGIN CURB RETURN	OE/C	OVERHEAD ELECTRIC
BDRY	BOUNDARY	PAV	PAVEMENT
BDRS	BUILDING	PL	PROPERTY LINE
BO	BLOW OFF	P/L	PROPERTY LINE
BW	BOTTOM OF WALL	PP	POWER POLE
CB	CATCH BASIN	PRC	POINT OF REVERSE CURVATURE
CCCD	CONTRA COSTA COUNTY	PT	POINT
CCP	CAST IN PLACE CONCRETE	PSE	PRIVATE STOP WATER EASEMENT
C/L	CENTRELINE	PUL	PUBLIC UTILITY EASEMENT
CMP	COMPACTED METAL PIPE	PVC	POLYVINYL CHLORIDE PIPE
C.O.	CLEAN OUT	R	RADIUS
CONC	CONCRETE	RCP	REINFORCED CONCRETE PIPE
CONST	CONSTRUCT	R/W	RIGHT OF WAY
CR	CURB RETURN	SD	STORM DRAIN LINE
CT	COURT	SDE	STORM DRAIN EASEMENT
C&G	CURB AND GUTTER	SDMH	STORM DRAIN MANHOLE
DET	DETAIL	SF	SQUARE FEET
DI	DROP INLET	SHT	SHEET
DIP	DUCTILE IRON PIPE	SO	SIDE OPENING
DLR	DRIP LINE RADIUS	STA	STATION
DWY	DRIVEWAY	STD	STANDARD
E	ELECTRICAL	STR	STRUCTURE
EB	ELECTRICAL BOX	SWK	SIDEWALK
EOR	END OF CURB RETURN	SS	SANITARY SEWER LINE
ELEV	ELEVATION	SSE	SANITARY SEWER EASEMENT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EVA	EMERGENCY VEHICLE ACCESS	TB	TOP OF BENCH
EX	EXISTING	TC	TOP OF CURB
EXIST	EXISTING	TEMP	TEMPORARY
FF	FRESH FLOOR ELEVATION	THRU	THROUGH
FI	FIRE HYDRANT	TI	TRAFFIC INDEX
FL	FLOW LINE	TP	TOP OF PAVEMENT
G	GAS	TW	TOP OF WALL
GB	GRADE BREAK	TYP	TYPICAL
GR	GRATE	UN	UNLESS OTHERWISE NOTED
GUT	GUTTER	VCP	VITRIFIED CLAY PIPE
HR	HANDICAP RAMP	VERT	VERTICAL
INV	INVERT	W	WATER
JP	JOINT POLE	WE	WATER EASEMENT
JT	JOINT TRENCH	WM	WATER METER
LF	LINEAR FEET	WV	WATER VALVE
LP	LOW POINT	+82	ELEVATION AT WATER SURFACE
MAX	MAXIMUM		

**SOILS ENGINEER'S NOTE:**

THIS PLAN HAS BEEN REVIEWED AND HAS BEEN FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT: PROJECT NO. 8571.01

DATED: 4 APRIL 2000

TERRASEARCH, INC.

APN# 085-186-031



THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AND THE COUNTY PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS ( 2 WORKING DAYS ) PRIOR TO BEGINNING ANY EXCAVATION IN THE VICINITY OF UNDERGROUND FACILITIES.



1390 SOUTH MAIN STREET  
SUITE 310  
WALNUT CREEK, CA. 94596  
(925) 476-2300  
FAX (925) 476-2350

NO.	BY	DATE	REVISIONS



TITLE SHEET  
SUBDIVISION 8409  
"EAST STREET ESTATES"  
CONTRA COSTA COUNTY  
CALIFORNIA

PROJECT ADDRESS:  
399, 403, 407 & 411 E. 9th  
Street and 400, 404, 408 &  
412 E. 9th Street  
Pittsburg, California 94565

DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

DATE: 10/03/2023  
SCALE: As Noted  
DRAWN BY: S.Cruz  
CHECKED BY: T.Kensli  
CAD FILE: .dwg

PROJECT NAME: East Street Estates  
PROJECT NUMBER: Arcxen201906



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DESIGNER: SERGIO CRUZ  
DATE:  

**DESIGN REVIEW SET**

**EAST STREET ESTATES  
PITTSBURG, CALIFORNIA  
DESIGN REVIEW**

RECORDED GRADING PLANS - SUBDIVISION 8409  
SCALE: N.T.S.

FOR REFERENCE ONLY

G-1

GRADING PLAN  
FOR REFERENCE

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Thursday, September 3, 2020



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Thursday, September 3, 2020



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DRAWING AUTHOR:

SERGIO CRUZ Sr Designer/Draftor DATE:

DESIGN REVIEW SET



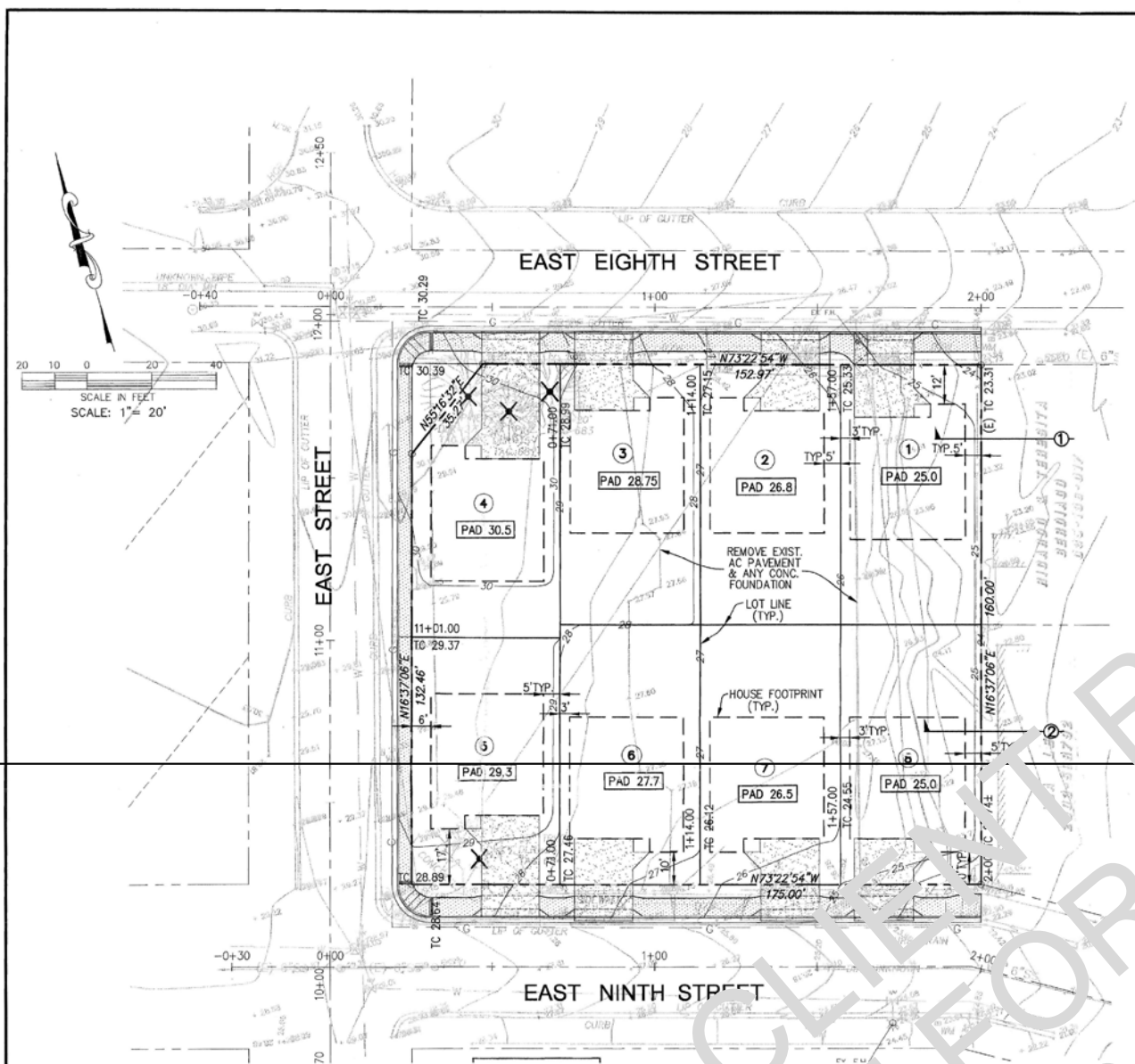
GRADING PLAN SUBDIVISION 8409 'EAST STREET ESTATES' CONTRA COSTA COUNTY CALIFORNIA

PROJECT ADDRESS: 399, 403, 407 & 411 E. 9th Street and 400, 404, 408 & 412 E. 9th Street Pittsburg, California 94565

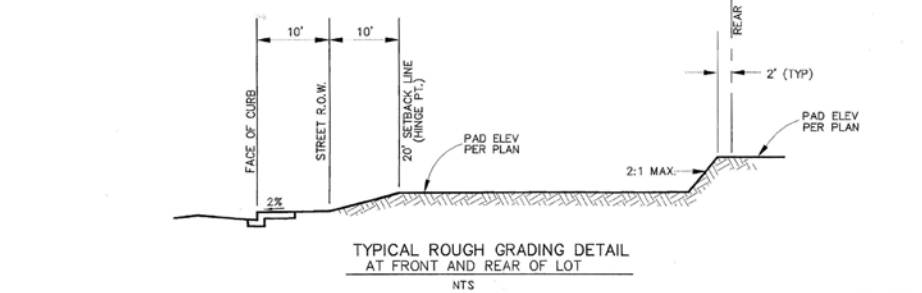
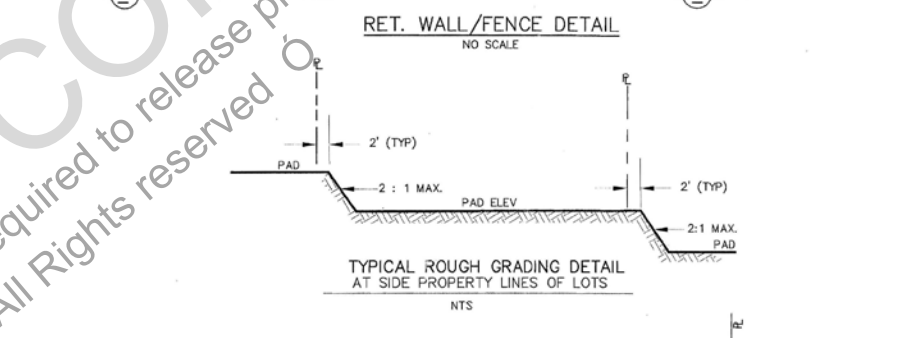
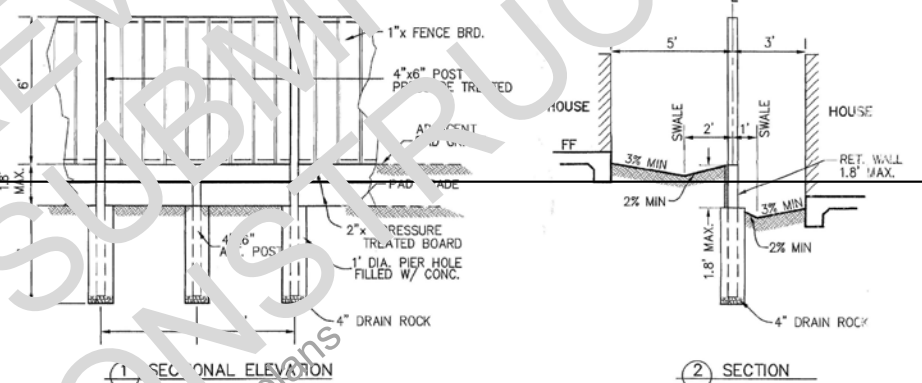
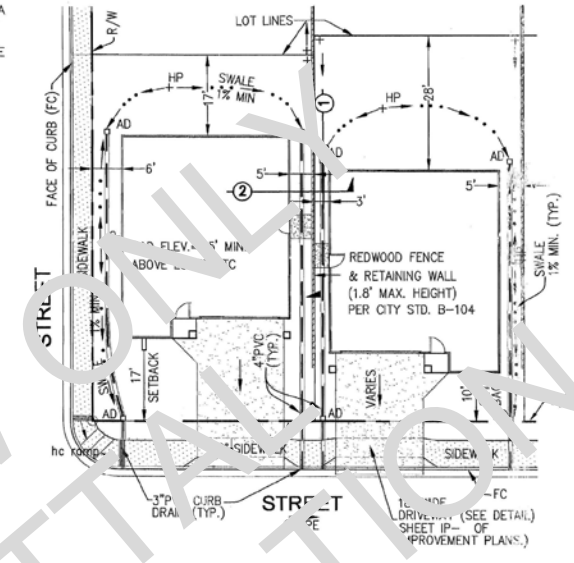
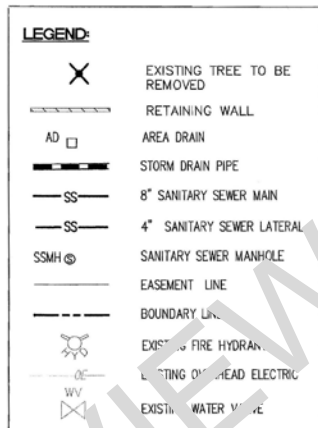
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DATE: 10/03/2023 SCALE: As Noted DRAWN BY: S. Cruz CHECKED BY: T. Kenslinke CAD FILE: .dwg PROJECT NAME: East Street Estates PROJECT NUMBER: Arcxen201906

JOB NO: 2020057.0 SCALE: 1"=20' DATE: 10/05/04 DESIGN: ECF DRAWN: DCP APPROVED: RCW DRAWING NUMBER: G-2 2 OF 4



NOTE: BUILDING PADS SHALL HAVE A DRAINAGE GRADIENT OF 2% TOWARD APPROVED DRAINAGE FACILITIES, UNLESS WAIVED BY THE PUBLIC OFFICIAL (UBC SEC. 7012.D)



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RECORDED GRADING PLANS - SUBDIVISION 8409 SCALE: N.T.S.

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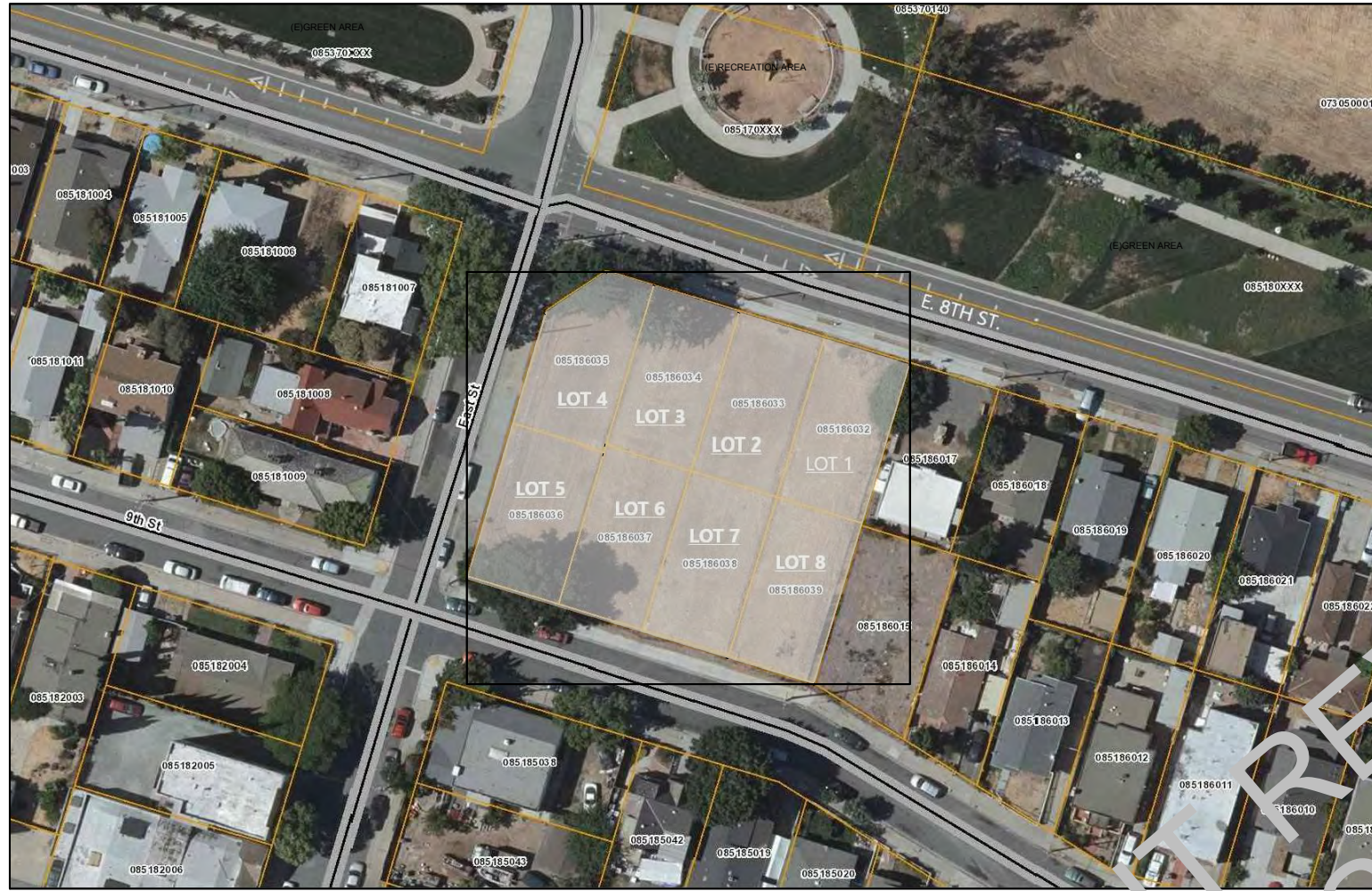
G-2 GRADING PLAN FOR REFERENCE

10/03/2023



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Thursday, September 3, 2020



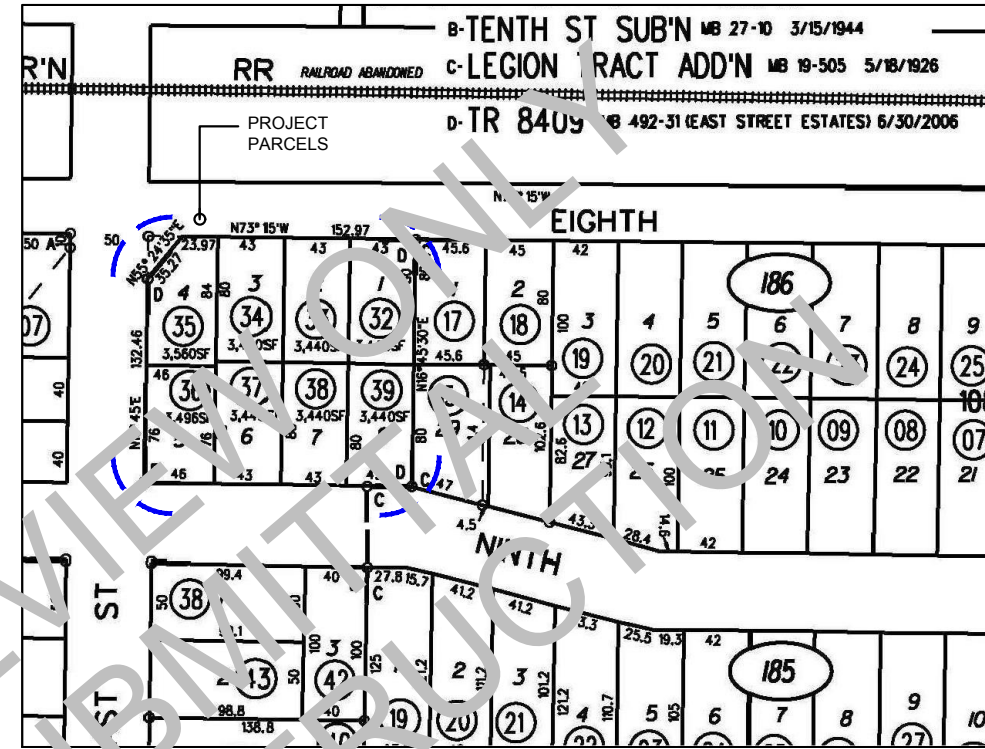
1 SITE AERIAL PHOTO  
SCALE: NOT TO SCALE



3 SITE VICINITY AERIAL PHOTO FROM E. 8TH STREET  
SCALE: NOT TO SCALE



4 SITE AERIAL VICINITY PHOTOS FROM EAST & E. 9TH ST. CORNER  
SCALE: NOT TO SCALE



2 PARCEL MAP  
SCALE: NOT TO SCALE



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DRAWING AUTHOR:

SERGIO CRUZ  
Sr Designer/Drafter DATE:

DESIGN REVIEW SET  
PRELIMINARY

EAST STREET ESTATES  
PITTSBURG, CALIFORNIA  
DESIGN REVIEW

PROJECT ADDRESS:  
399, 403, 407 & 411 E. 9th Street and 400, 404, 408 & 412 E. 9th Street  
Pittsburg, California 94565

DATE	NO.	REVISION
08/29/2020	1	DESIGN REVIEW

DATE: 10/03/2023  
SCALE: As Noted  
DRAWN BY: S. Cruz  
CHECKED BY: T. Kenslinke  
CAD FILE: .dwg  
PROJECT NAME: East Street Estates  
PROJECT NUMBER: Arcxen201906

A1.2

PARCEL MAP & SITE VICINITY PHOTOS

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① SITE VIEW FROM E. 8TH & EAST ST. CORNER



② SITE VIEW FROM E. 8TH STREET LOOKING SOUTH



③ SITE VIEW FROM E. 8TH STREET LOOKING SOUTH



④ SITE VIEW FROM E. 8TH STREET LOOKING EAST



⑤ SITE VIEW FROM E. 8TH STREET LOOKING WEST



⑥ SITE VIEW FROM EAST STREET LOOKING NORTH



⑦ SITE VIEW FROM E. 9TH STREET NORTH



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 DRAWN BY: S.Cruz  
 CHECKED BY: T.Kenslinke  
 CAD FILE: .dwg  
 PROJECT NAME: East Street Estates  
 PROJECT NUMBER: Arcxen201906

A1.3

SITE PHOTOS

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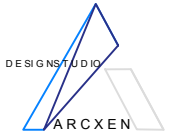
SITE PHOTOS

SCALE: NOT TO SCALE



c:\arcxen design studio\architecture-engineering\projects\arcxen\201906 east street estate - pittsburg, ca - 6 new homes - dwg - v2020\east street estates of set 1.dwg

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 Sr Designer/Drafter DATE:

DESIGN REVIEW SET



1 APPROXIMATE VICINITY STRUCTURES HEIGHTS - VIEW LOOKING SOUTH FROM E. 8TH STREET  
 SCALE: NOT TO SCALE



2 APPROXIMATE VICINITY STRUCTURES HEIGHTS - VIEW LOOKING SOUTH FROM E. 8TH STREET  
 SCALE: NOT TO SCALE

EAST STREET ESTATES  
 PITTSBURG, CALIFORNIA  
 DESIGN REVIEW

PROJECT ADDRESS:  
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DATE: 10/03/2023  
 SCALE: As Noted  
 DRAWN BY: S.Cruz  
 CHECKED BY: T.Kenslinke  
 CAD FILE: .dwg  
 PROJECT NAME: East Street Estates  
 PROJECT NUMBER: Arcxen201906

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A1.4

HEIGHTS OF ADJECENT  
 STRUCTURES

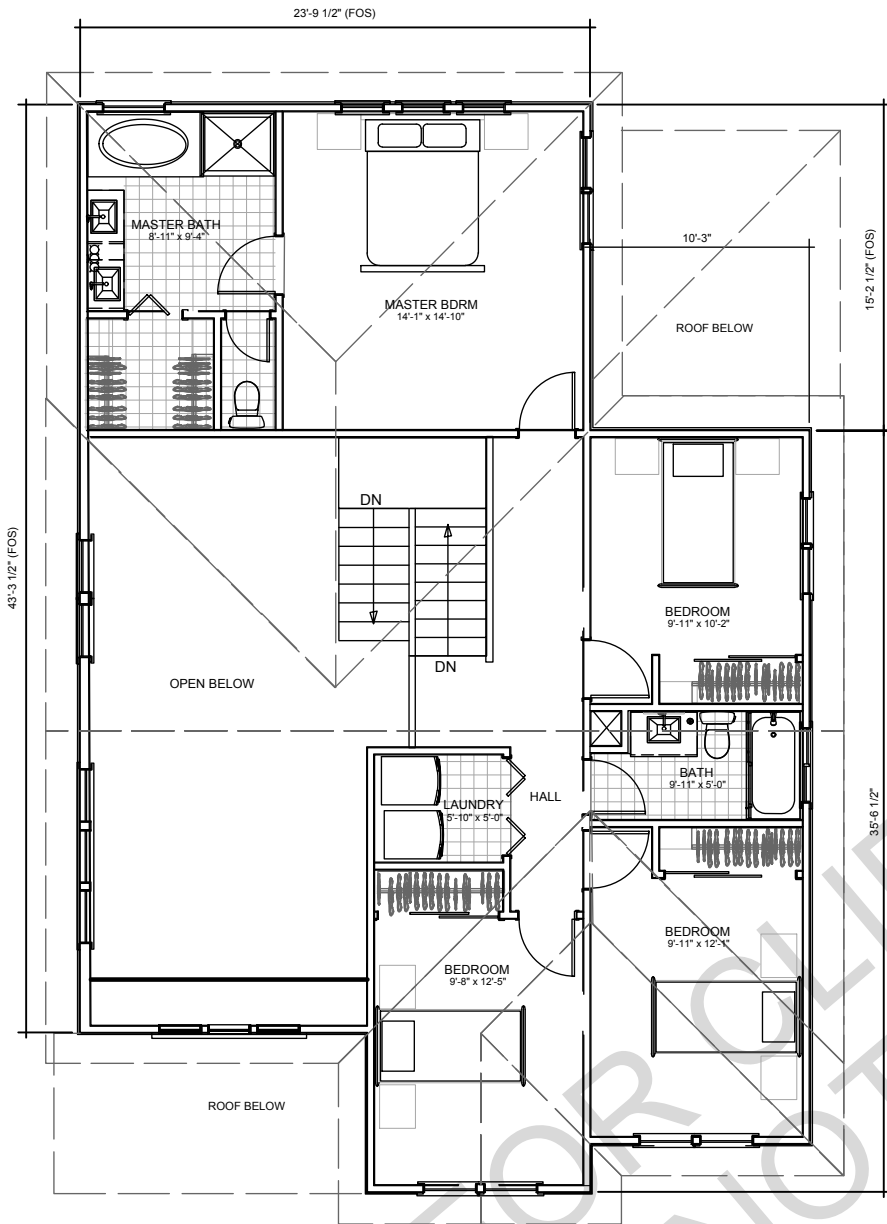
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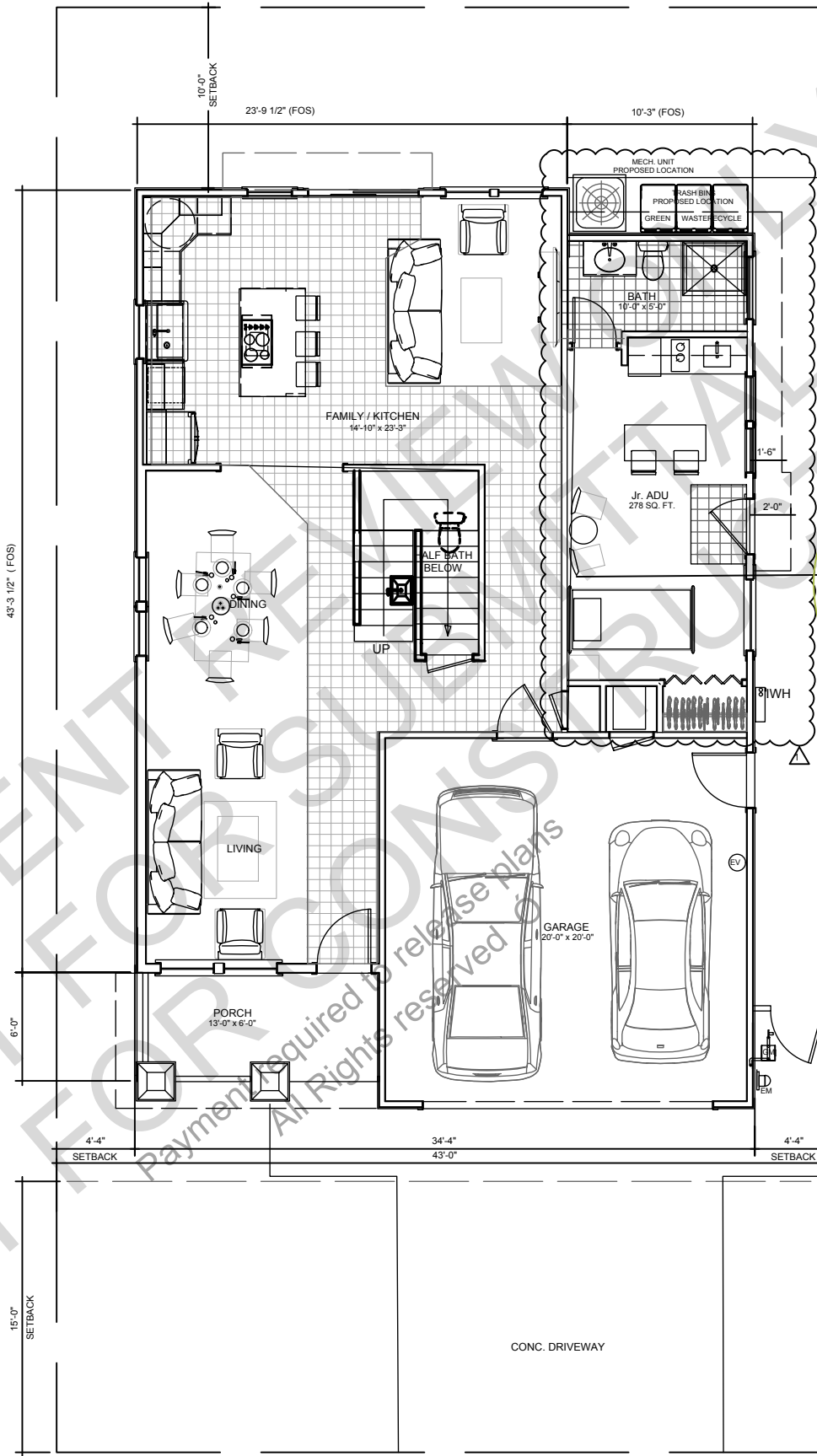




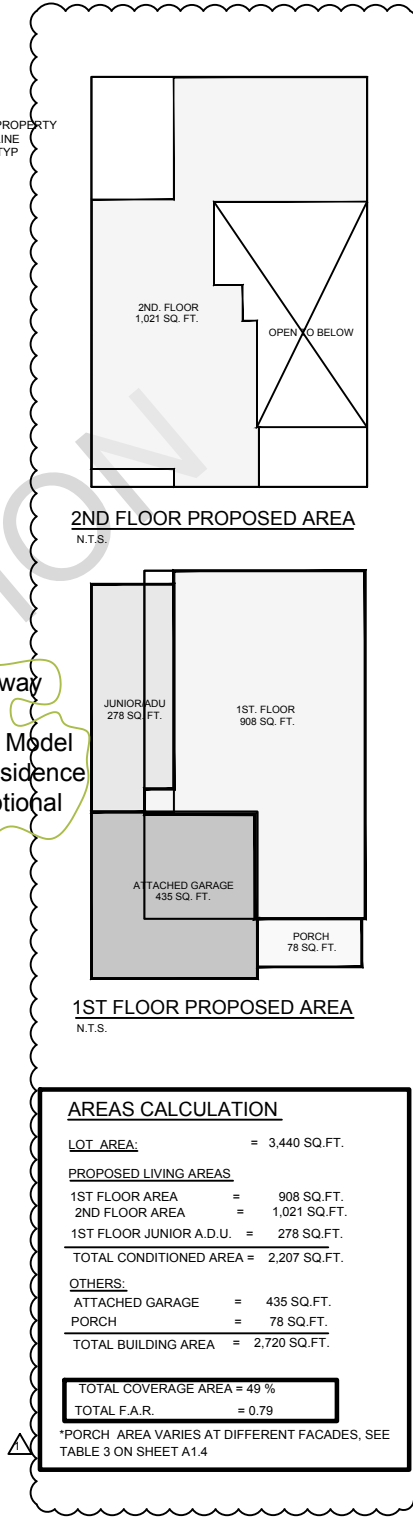




2 PROPOSED TYPICAL 2ND FLOOR PLAN - MODEL 1A  
SCALE: 1/4"=1'-0"



1 PROPOSED TYPICAL 1ST FLOOR PLAN - MODEL 1A  
SCALE: 1/4"=1'-0"



LOTS NO'S  
1 & 8  
MODEL 1A W/ Jr. ADU

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**EAST STREET ESTATES**  
**PITTSBURG, CALIFORNIA**  
**DESIGN REVIEW**

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SCALE:	As Noted
DRAWN BY:	S.Cruz
CHECKED BY:	T.Kenslinke
CAD FILE:	.dwg
PROJECT NAME:	East Street Estates
PROJECT NUMBER:	Arcxen201906

**A3.1**  
MODEL 1A  
FLOOR PLANS

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SERGIO CRUZ  
Sr. Designer/Drafter DATE:

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EAST STREET ESTATES  
PITTSBURG, CALIFORNIA  
DESIGN REVIEW

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08/29/2020	1	PLAN CHECK

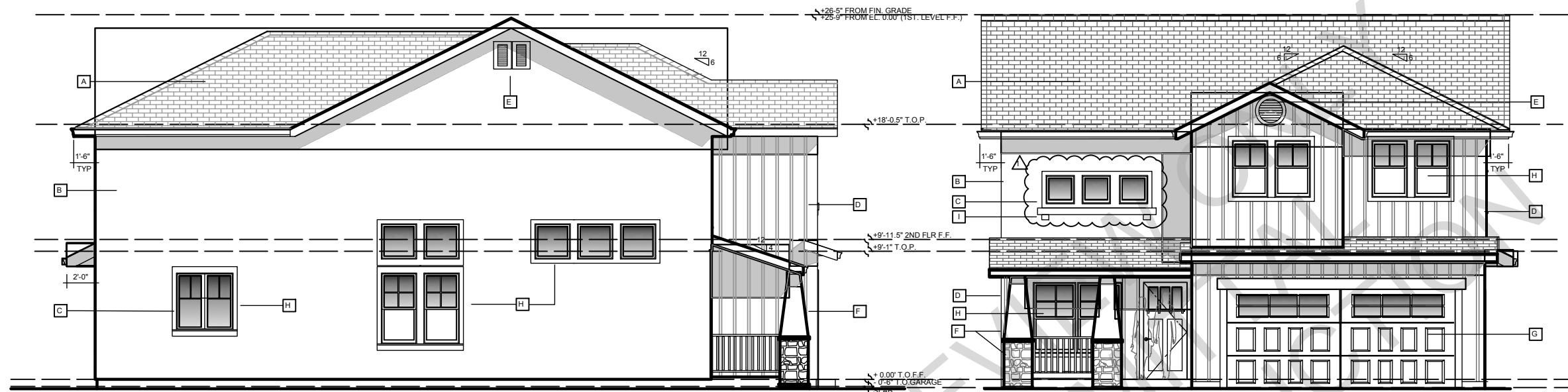
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SCALE:	As Noted
DRAWN BY:	S. Cruz
CHECKED BY:	T. Kenslinke
CAD FILE:	.dwg
PROJECT NAME:	East Street Estates
PROJECT NUMBER:	Arcxen201906

A3.2

MODEL 1A  
EXTERIOR  
ELEVATIONS

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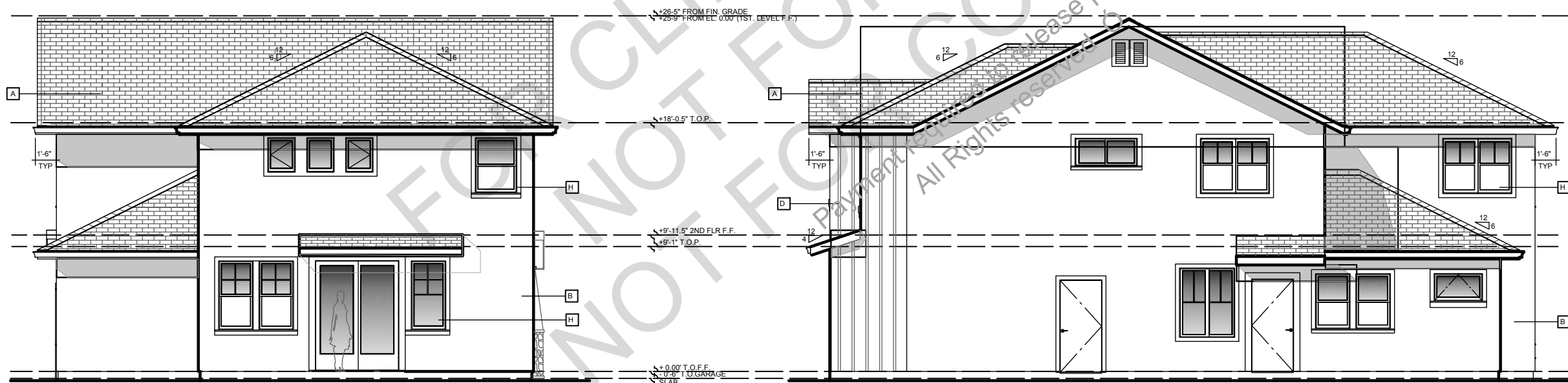


1 PROPOSED TYPICAL LEFT SIDE ELEVATION - MODEL 1A  
SCALE: 1/4"=1'-0"  
LOTS NO. 1 & 8

2 PROPOSED TYPICAL FRONT ELEVATION - MODEL 1A  
SCALE: 1/4"=1'-0"  
LOTS NO. 1 & 8

**MATERIAL LEGEND**

- A. HIP & GABLE ROOFS: FLAT CONCRETE TILE ROOF
- B. COLORED STUCCO BODY
- C. FOAM STUCCO TRIM
- D. FACADE ACCENT WITH HARDIE PLANK BOARD & BATTEN WALL SIDING WITH 1X3 BATTENS @ 12" O.C. & 2X10 BELLY BAND W/ FLASHING AT BOTTOM
- E. GABLE VENT
- F. DECORATIVE TAPERED COLUMNS WITH CULTURED STONE VENEER AT BASES AND WOODEN RAILING AT PORCH
- G. SECTIONAL GARAGE DOORS
- H. VINYL DUAL PANE WINDOWS AND SLIDING GLASS DOORS WITH STUCCO TRIM AND ACCENT SILL AND LINTEL AT FACADE
- I. DECORATIVE 3 DIMENSIONAL FOAM WINDOW SILL ACCENT

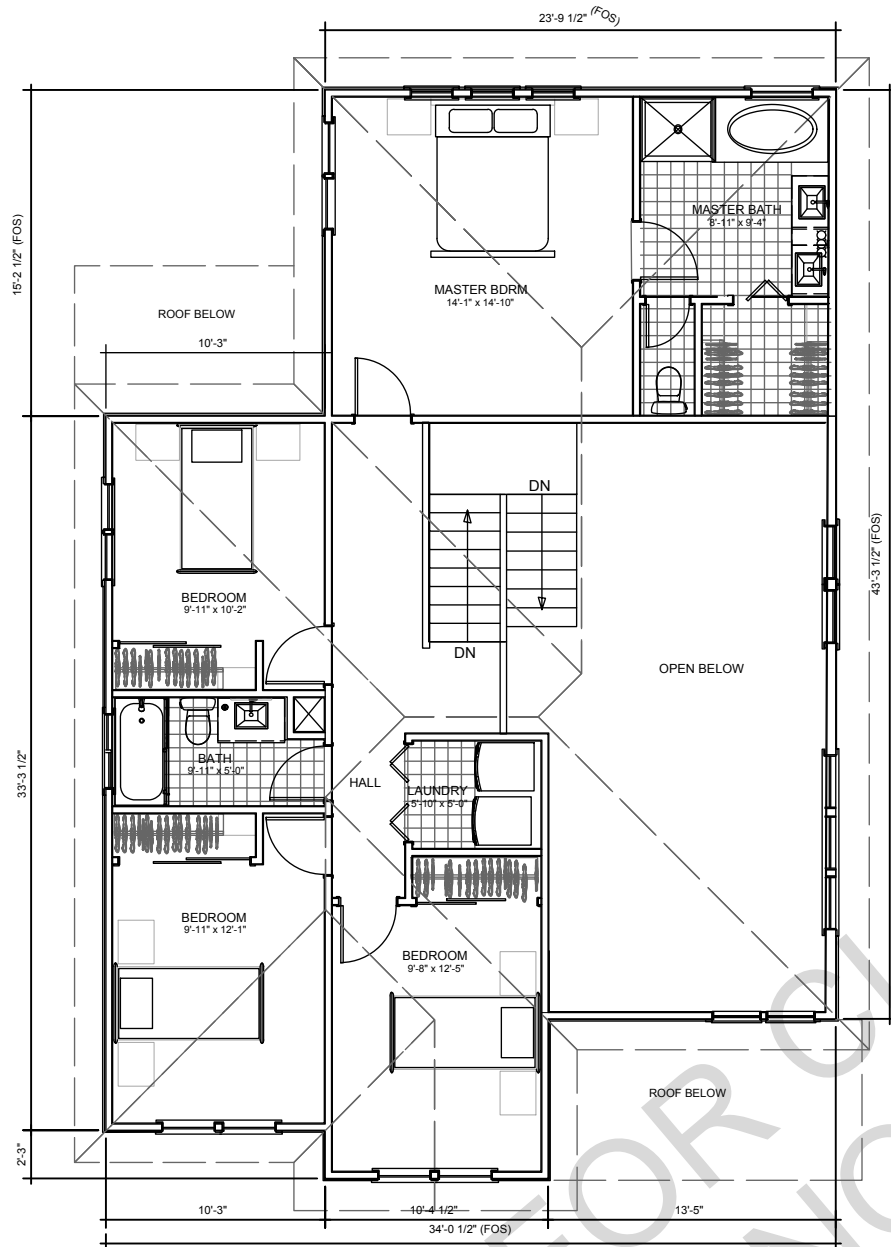


3 PROPOSED TYPICAL REAR ELEVATION - MODEL 1A  
SCALE: 1/4"=1'-0"  
LOTS NO. 1 & 8

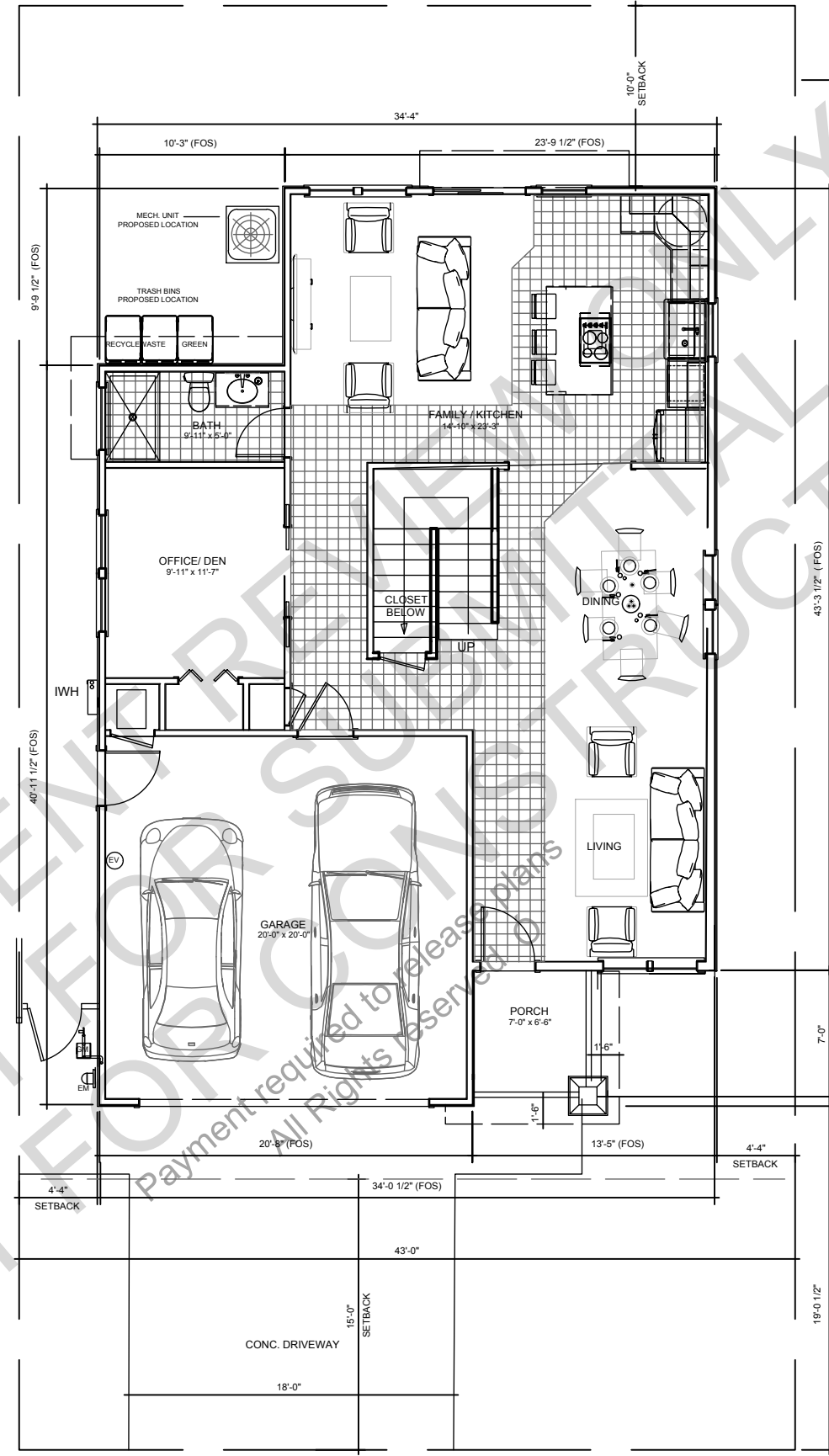
4 PROPOSED TYPICAL RIGHT SIDE ELEVATION - MODEL 1A  
SCALE: 1/4"=1'-0"  
LOTS NO. 1 & 8

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Thursday, September 3, 2020



**2** PROPOSED TYPICAL 2ND FLOOR PLAN - MODELS 1B & 1C (SIMILAR)  
SCALE: 1/4"=1'-0"



**1** PROPOSED TYPICAL 1ST FLOOR PLAN - MODELS 1B & 1C (SIMILAR)  
SCALE: 1/4"=1'-0"

- DRAWING NOTES:**
- PORCH AND FRONT FACADE OF HOMES FOR LOTS 3, & 6 VARY TO PROVIDE VISUAL CHANGE AT STREET VIEW, SEE MODEL 1C FRONT ELEVATION ON DRAWING A3.6
- CALGREEN NOTES:**
- THIS MODEL WILL BE PROVIDED WITH PV SOLAR READY W/ MIN. OF 2 SPACES MARKED AS DEDICATED FUTURE SOLAR INSTALLATION IN THE MAIN ELECTRICAL DISTRIBUTION PANEL, TYPICAL ALL MODELS.
  - THIS MODEL WILL BE PROVIDED WITH A MIN. OF ONE EV CHARGING STATION WITH DEDICATED POWER PLUG AT GARAGE, TYPICAL ALL MODELS.

LOTS No's 2 & 7  
**MODEL 1B**  
LOTS No's 3 & 6  
**MODEL 1C (SIMILAR)**



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DRAWING AUTHOR:

SERGIO CRUZ  
Sr. Designer/Drafter DATE:

DESIGN REVIEW SET

**EAST STREET ESTATES**  
**PITTSBURG, CALIFORNIA**  
**DESIGN REVIEW**

PROJECT ADDRESS:  
399, 403, 407 & 411 E. 9th Street and 400, 404, 408 & 412 E. 9th Street  
Pittsburg, California 94565

DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

DATE	10/03/2023
SCALE	As Noted
DRAWN BY	S.Cruz
CHECKED BY	T.Kenslinke
CAD FILE	.dwg
PROJECT NAME	East Street Estates
PROJECT NUMBER	Arcxen201906

**A3.4**

MODELS 1B & 1C  
FLOOR PLANS

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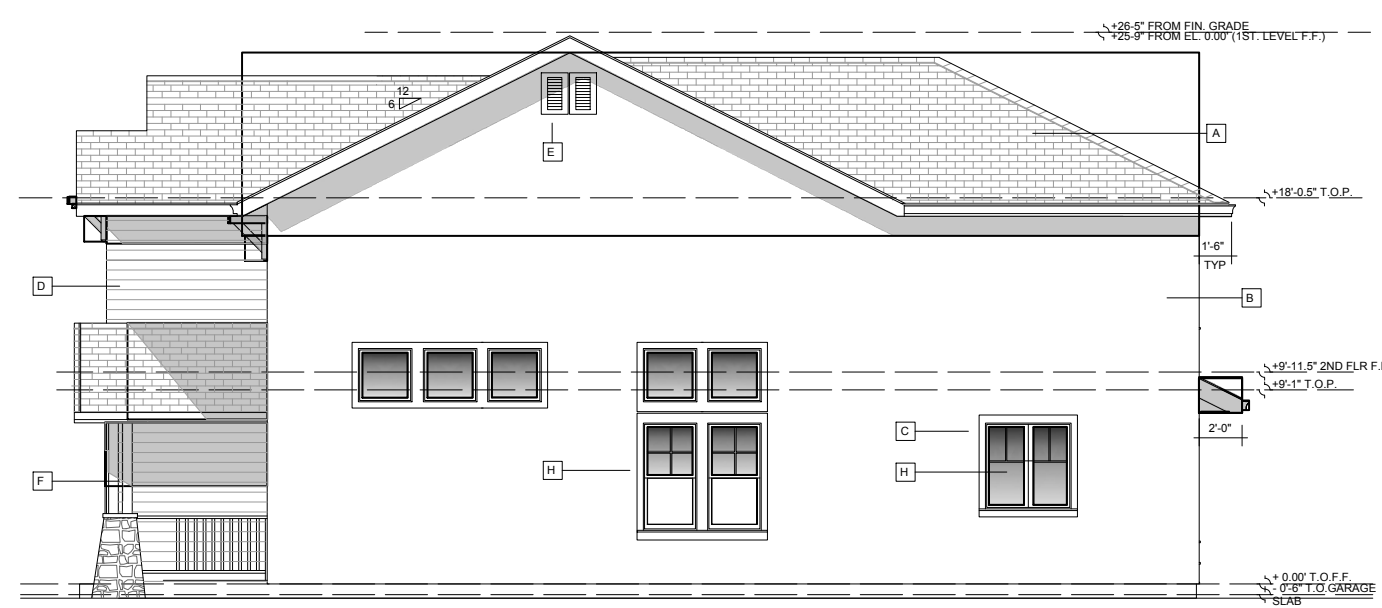
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DATE	NO.	REVISION
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DRAWN BY:	S.Cruz
CHECKED BY:	T.Kenslinke
CAD FILE:	.dwg
PROJECT NAME:	East Street Estates
PROJECT NUMBER:	Arcxen201906

A3.5

MODEL 1B & 1C  
EXTERIOR  
ELEVATIONS



1 PROPOSED TYPICAL RIGHT ELEVATION - MODEL 1B & 1C (SIMILAR)  
SCALE: 1/4"=1'-0"  
LOTS NO. 2 & 7 AND 3 & 6



2 PROPOSED TYPICAL FRONT ELEVATION - MODEL 1B  
SCALE: 1/4"=1'-0"  
LOTS NO. 2 & 7  
NOTE: SEE DWG A3.6 FOR MODEL 1C FRONT ELEVATION

- MATERIAL LEGEND**
- A. HIP & GABLE ROOFS: FLAT CONCRETE TILE ROOF
  - B. COLORED STUCCO BODY
  - C. STUCCO FOAM TRIM
  - D. FAÇADE ACCENT WITH HARDIE PLANK BOARD & BATTEN WALL SIDING WITH 1X3 BATTENS @ 12" O.C. & 2X10 BELLY BAND W/ FLASHING AT BOTTOM
  - E. GABLE VENT
  - F. DECORATIVE TAPERED COLUMNS WITH CULTURED STONE VENEER AT BASES AND WOODEN RAILING AT PORCH
  - G. SECTIONAL GARAGE DOORS
  - H. VINYL DUAL PANE WINDOWS AND GLASS DOORS WITH STUCCO TRIM AND ACCENT SILL AND LINTEL AT FAÇADE
  - I. DECORATIVE 3 DIMENSIONAL FOAM WINDOW SILL ACCENT
  - J. COMPOSITE SHUTTERS
  - K. CORBELS



3 PROPOSED TYPICAL REAR ELEVATION - MODEL 1B & 1C (SIMILAR)  
SCALE: 1/4"=1'-0"  
LOTS NO. 2 & 7 AND 3 & 6



4 PROPOSED TYPICAL LEFT SIDE ELEVATION - MODEL 1B & 1C (SIMILAR)  
SCALE: 1/4"=1'-0"  
LOTS NO. 2 & 7 AND 3 & 6

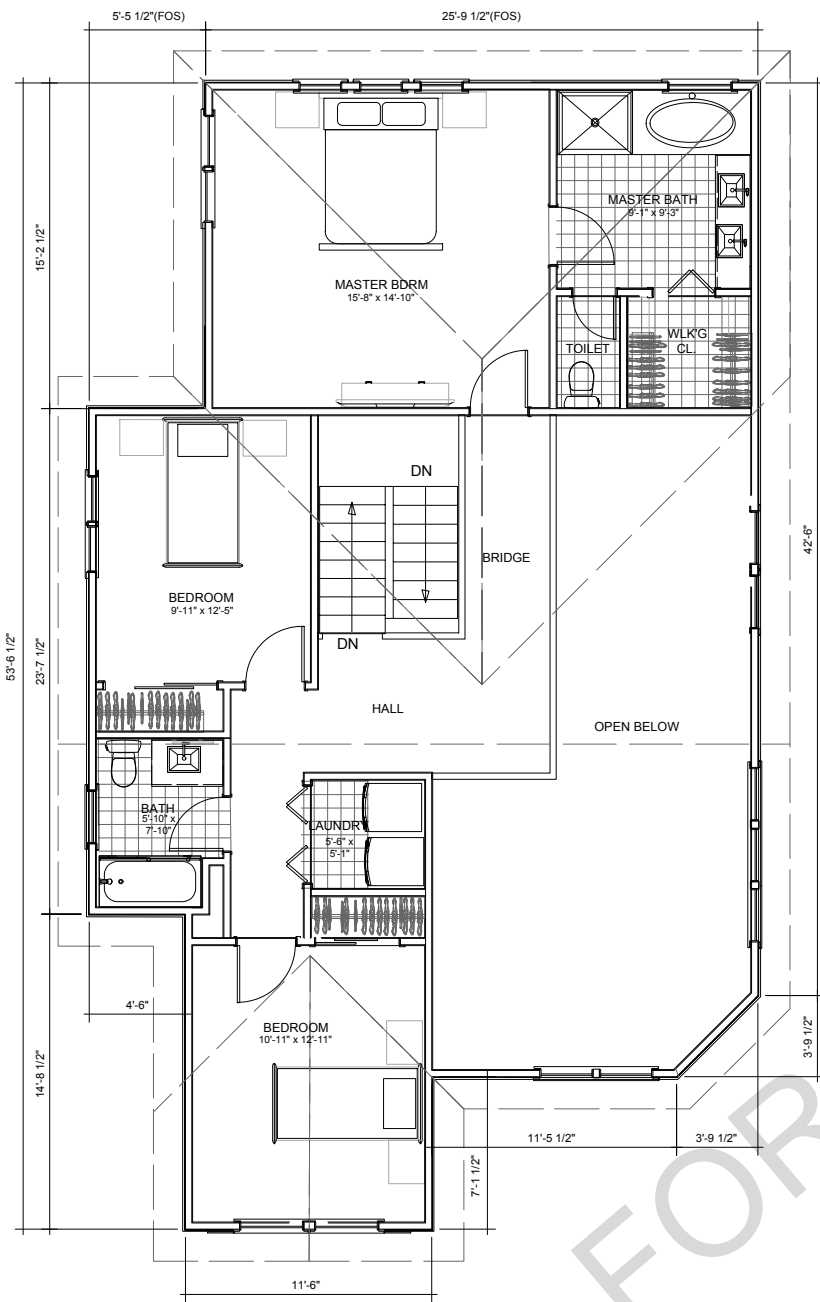
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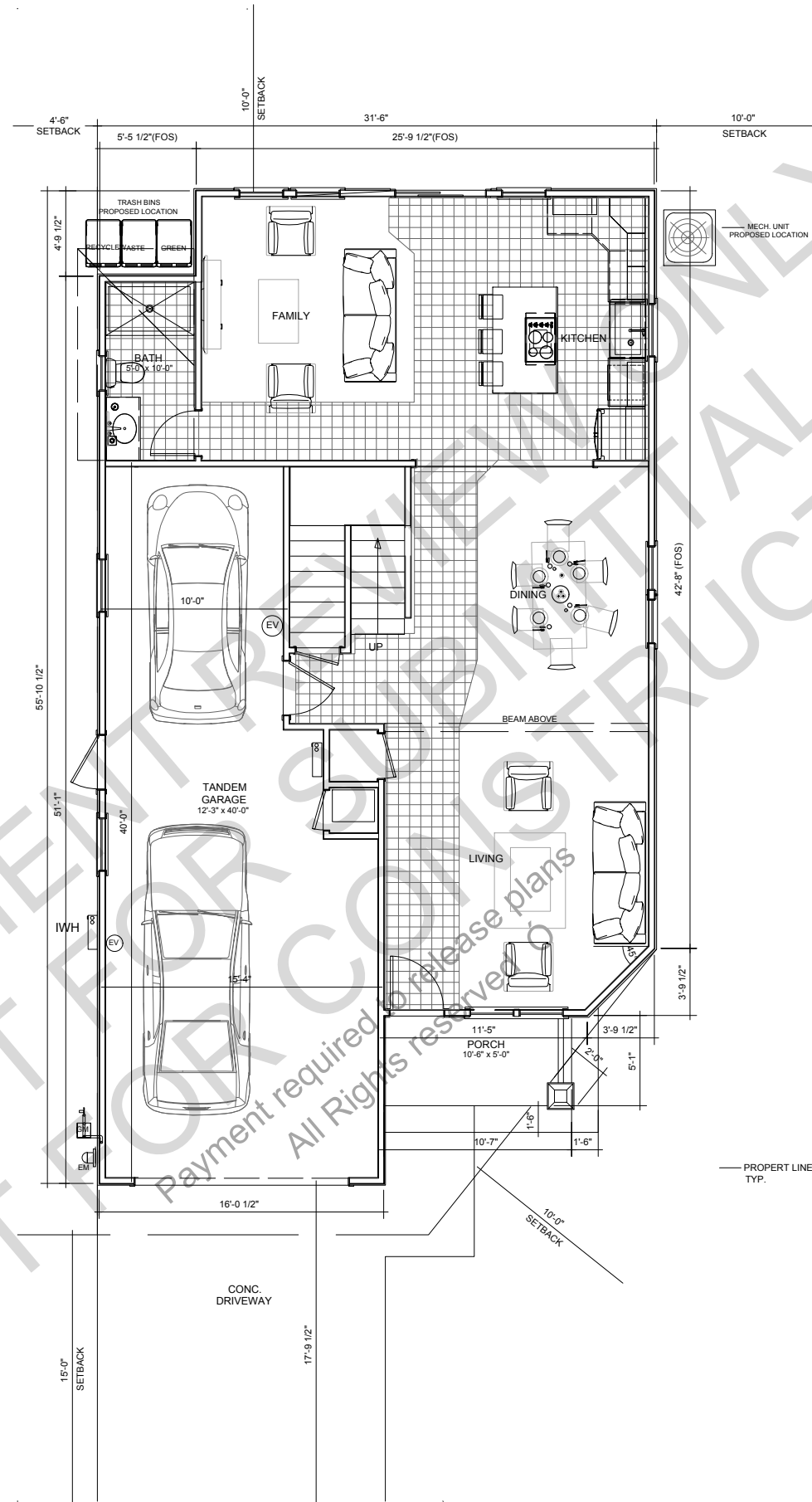


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Thursday, September 3, 2020



2 PROPOSED TYPICAL 2ND FLOOR PLAN - MODEL 2A  
SCALE: 1/4"=1'-0"  
CORNER LOT NO. 4



1 PROPOSED TYPICAL 1ST FLOOR PLAN - MODEL 2A  
SCALE: 1/4"=1'-0"  
CORNER LOT NO. 4



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DRAWING AUTHOR:

SERGIO CRUZ  
Sr Designer/Drafter DATE:

DESIGN REVIEW SET

EAST STREET ESTATES  
PITTSBURG, CALIFORNIA  
DESIGN REVIEW

PROJECT ADDRESS:  
399, 403, 407 & 411 E. 9th  
Street and 400, 404, 408 &  
412 E. 9th Street  
Pittsburg, California 94565

DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

DATE:	10/03/2023
SCALE:	As Noted
DRAWN BY:	S.Cruz
CHECKED BY:	T.Kensinke
CAD FILE:	.dwg
PROJECT NAME:	East Street Estates
PROJECT NUMBER:	Arcxen201906

CALGREEN NOTES:

- THIS MODEL WILL BE PROVIDED WITH PV SOLAR READY W/ MIN. OF 2 SPACES MARKED AS DEDICATED FUTURE SOLAR INSTALLATION IN THE MAIN ELECTRICAL DISTRIBUTION PANEL. TYPICAL ALL MODELS.
- THIS MODEL WILL BE PROVIDED WITH A MIN. OF ONE EV CHARGING STATION WITH DEDICATED POWER PLUG AT GARAGE. TYPICAL ALL MODELS.

CORNER LOT  
NO. 4  
MODEL 2A

A4.1

MODEL 2A  
FLOOR PLANS

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DRAWING AUTHOR:

SERGIO CRUZ  
 Sr. Designer/Drafter DATE:

DESIGN REVIEW SET

**EAST STREET ESTATES**  
**PITTSBURG, CALIFORNIA**  
**DESIGN REVIEW**

PROJECT ADDRESS:  
 399, 403, 407 & 411 E. 9th Street and 400, 404, 408 & 412 E. 9th Street  
 Pittsburg, California 94565

DATE	NO.	REVISION
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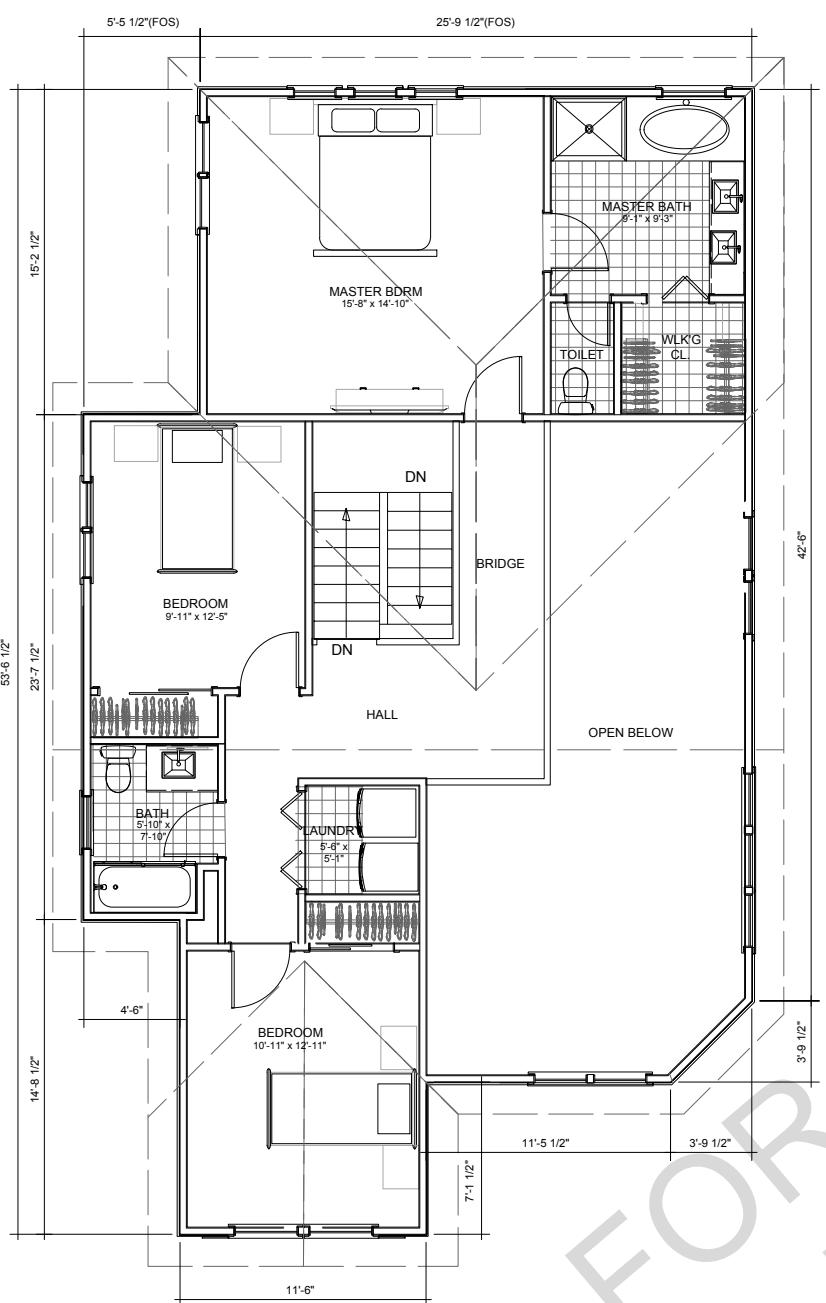
**CORNER LOT NO. 4**  
**MODEL 2A**

**A4.1**

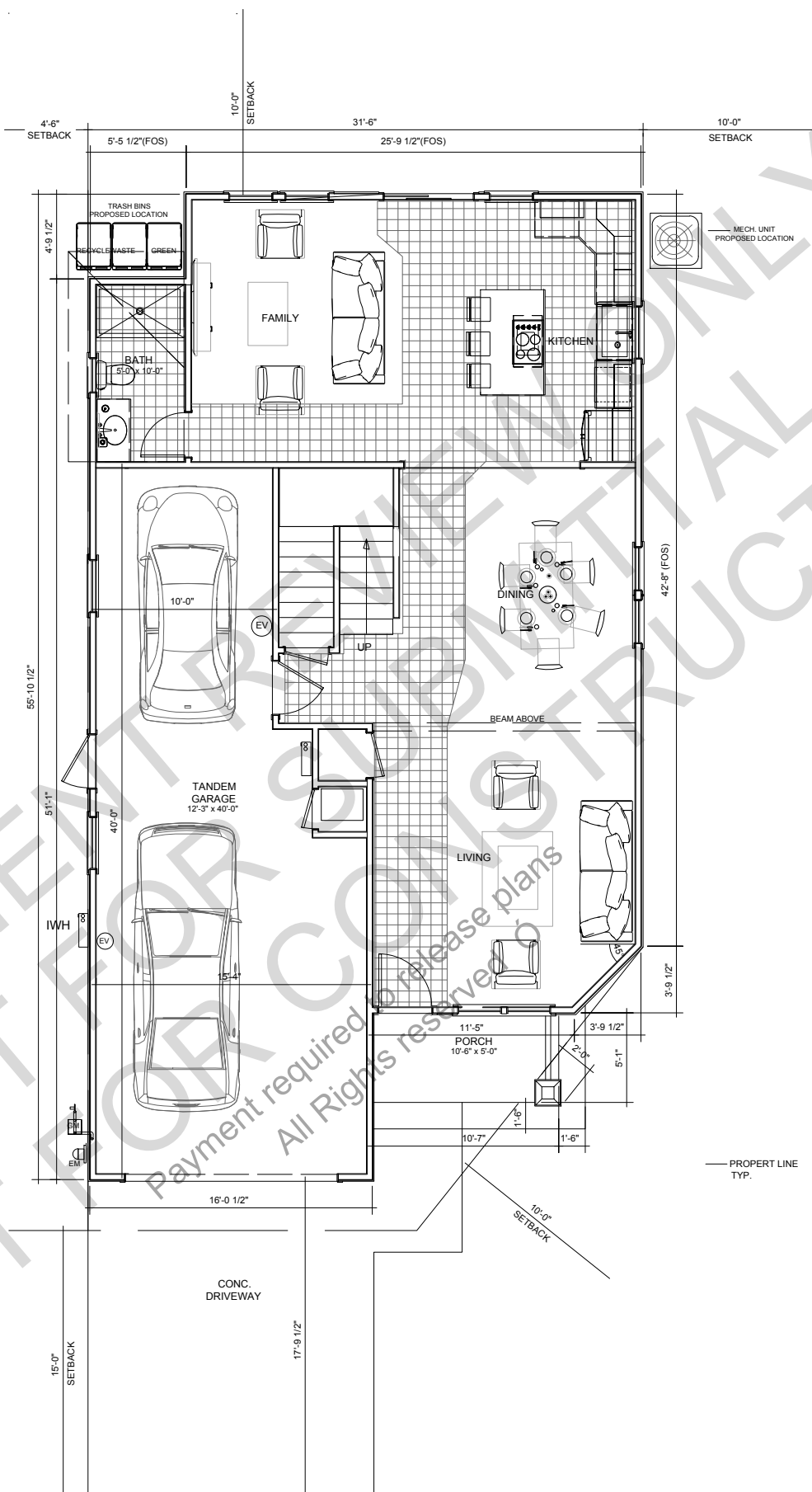
MODEL 2A FLOOR PLANS

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**2** PROPOSED TYPICAL 2ND FLOOR PLAN - MODEL 2A  
 SCALE: 1/4"=1'-0"  
 CORNER LOT NO. 4



**1** PROPOSED TYPICAL 1ST FLOOR PLAN - MODEL 2A  
 SCALE: 1/4"=1'-0"  
 CORNER LOT NO. 4

c:\arcxen design studio\architecture+engineering\projects\arcxen2019 arcxen projects\201906 east street estate, pittsburg, ca - 8 new homes-dwg - v2020\floor plan - east estates 5a.dwg

Thursday, September 3, 2020



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EAST STREET ESTATES  
 PITTSBURG, CALIFORNIA  
 DESIGN REVIEW

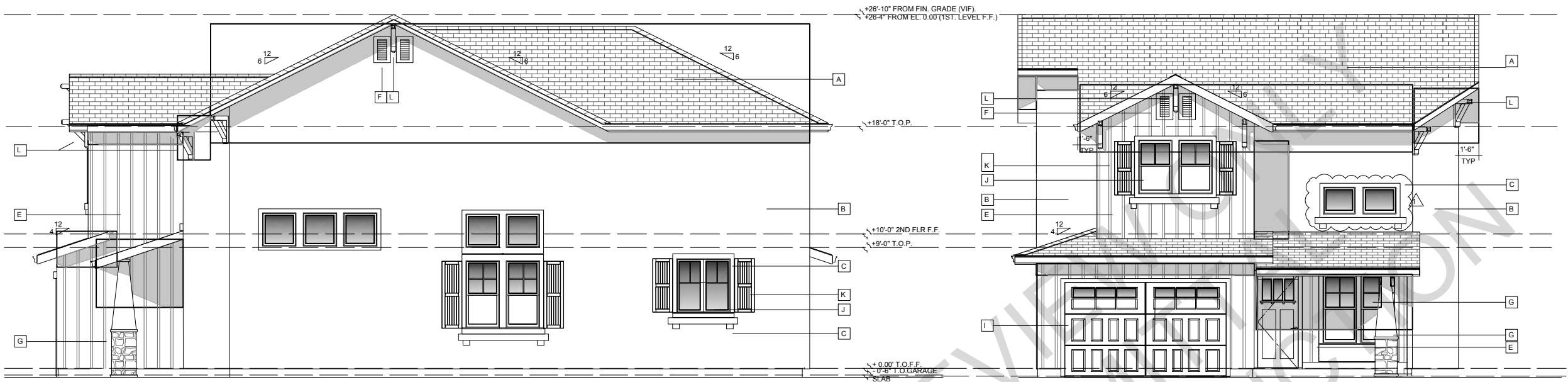
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DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

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SCALE:	As Noted
DRAWN BY:	S. Cruz
CHECKED BY:	T. Kenslinke
CAD FILE:	dwg
PROJECT NAME:	East Street Estates
PROJECT NUMBER:	Arcxen201906

A4.2  
 MODEL 2A  
 EXTERIOR  
 ELEVATIONS

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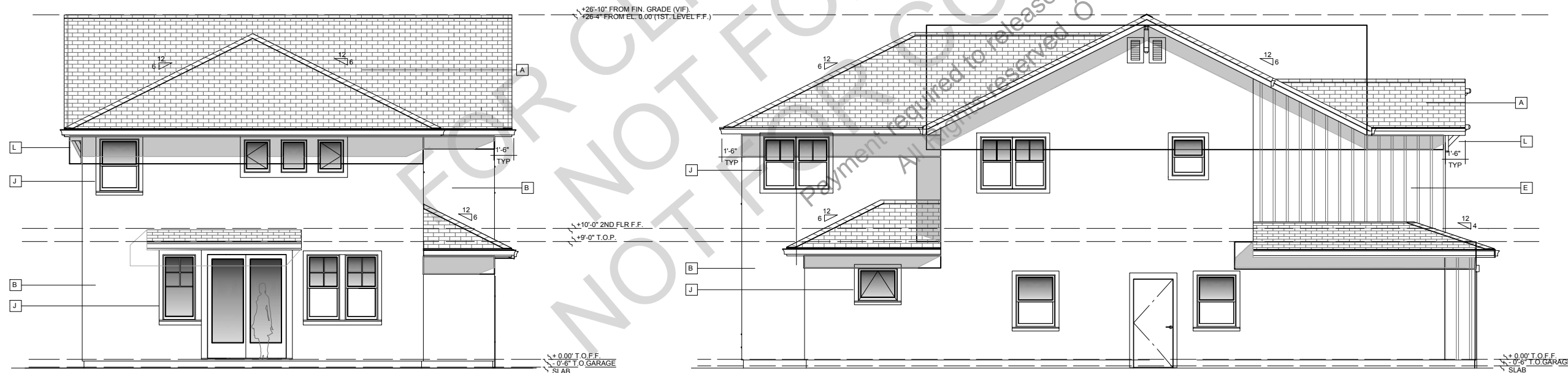


1 PROPOSED TYPICAL RIGHT SIDE ELEVATION - MODEL 2A  
 SCALE: 1/4"=1'-0"  
 CORNER LOT NO. 4

2 PROPOSED TYPICAL FRONT ELEVATION - MODEL 2A  
 SCALE: 1/4"=1'-0"  
 CORNER LOT NO. 4

**MATERIAL LEGEND**

- A. HIP & GABLE ROOFS: FLAT CONCRETE TILE ROOF
- B. COLORED STUCCO BODY
- C. STUCCO FOAM TRIM ACCENT SILL AND LINTEL
- D. NOT USED
- E. FACADE ACCENT WITH HARDIE PLANK BOARD & BATTEN WALL SIDING WITH 1X3 BATTENS @ 12" O.C. AND 2X10 BOTTOM BELLY BAND W/ FLASHING
- F. GABLE VENTS
- G. COLUMN WITH CULTURED STONE VENEER AT BASES AT PORCH
- H. NOT USED
- I. SECTIONAL GARAGE DOORS
- J. VINYL DUAL PANE WINDOWS & PATIO DOORS WITH STUCCO TRIM
- K. MUCK SHUTTERS
- L. CORBELS



3 PROPOSED TYPICAL REAR ELEVATION - MODEL 2A  
 SCALE: 1/4"=1'-0"  
 CORNER LOT NO. 4

4 PROPOSED TYPICAL LEFT SIDE ELEVATION - MODEL 2A  
 SCALE: 1/4"=1'-0"  
 CORNER LOT NO. 4

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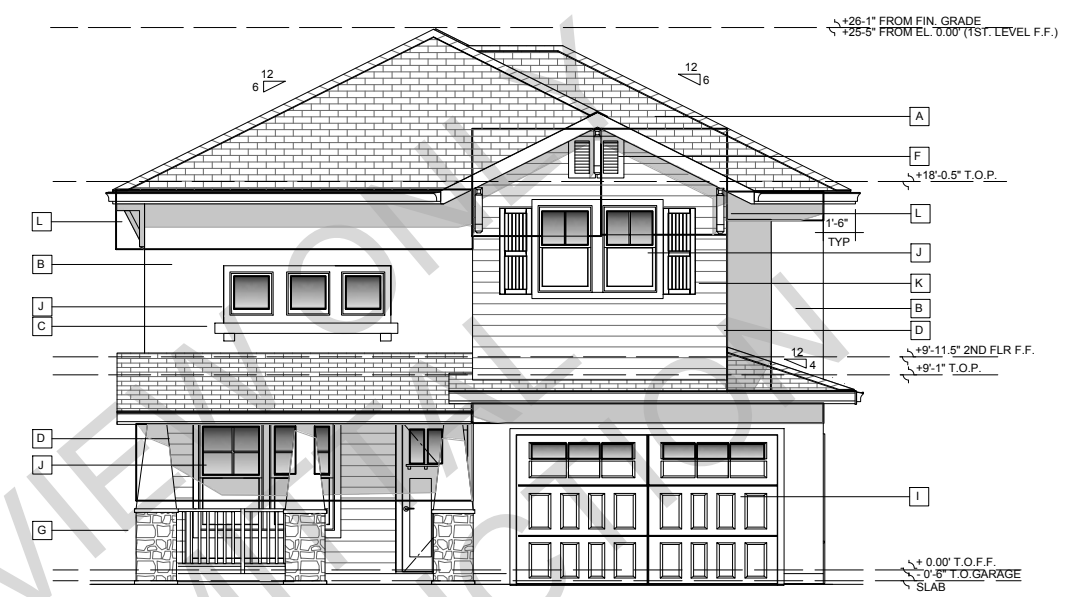
DATE	NO.	REVISION
08/29/2020	A	PLAN CHECK

DATE:	10/03/2023
SCALE:	As Noted
DRAWN BY:	S. Cruz
CHECKED BY:	T. Kenslinke
CAD FILE:	.dwg
PROJECT NAME:	East Street Estates
PROJECT NUMBER:	Arcxen201906

**A5.2**  
MODEL 2B  
EXTERIOR  
ELEVATIONS



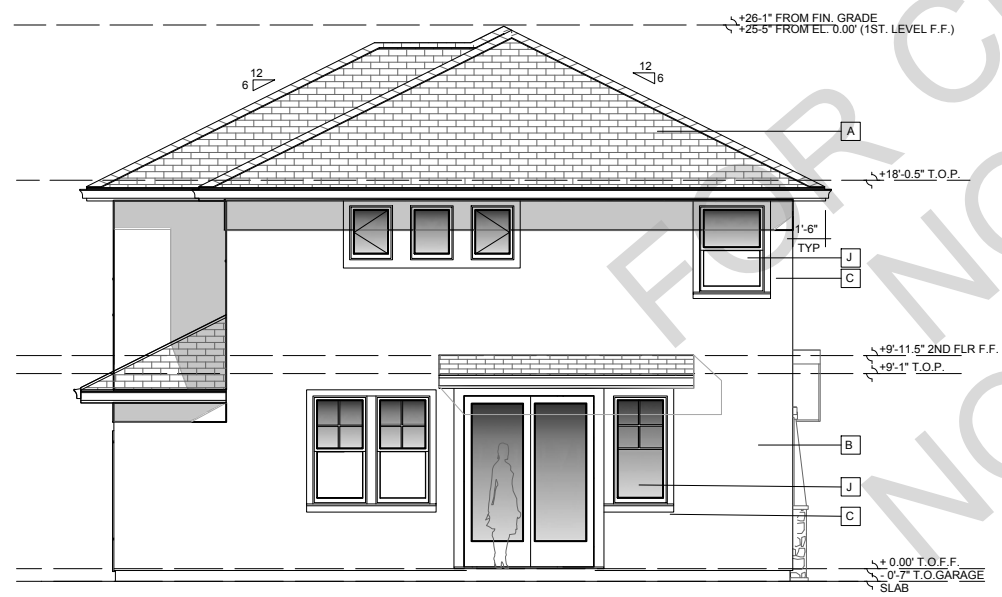
1 PROPOSED TYPICAL RIGHT SIDE ELEVATION - MODEL 2B  
SCALE: 1/4"=1'-0"  
CORNER LOT NO. 5



2 PROPOSED TYPICAL FRONT ELEVATION - MODEL 2B  
SCALE: 1/4"=1'-0"  
CORNER LOT NO. 5

**MATERIAL LEGEND**

- A. HIP & GABLE ROOFS: FLAT CONCRETE TILE ROOF
- B. COLORED STUCCO BODY
- C. STUCCO TRIM ACCENT SILL AND LINTEL AT FACADE
- D. FACADE ACCENT WITH HARDIE HORIZONTAL SIDING
- E. NOT USED
- F. GABLE VENT
- G. COLUMN WITH CULTURED STONE VENEER AT BASES AT PORCH
- H. NOT USED
- I. SECTIONAL GARAGE DOORS
- J. VINYL DUAL PANE WINDOWS & PATIO DOORS WITH STUCCO TRIM
- K. MUCK SHUTTERS
- L. CORBELS



3 PROPOSED TYPICAL REAR ELEVATION - MODEL 2B  
SCALE: 1/4"=1'-0"  
CORNER LOT NO. 5



4 PROPOSED TYPICAL LEFT SIDE ELEVATION - MODEL 2B  
SCALE: 1/4"=1'-0"  
CORNER LOT NO. 5

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Thursday, September 3, 2020





CONCEPTUAL SCENE OF THE 4 HOUSES ON E. 8TH STREET - 3D VIEW RENDERING  
SCALE: NOT TO SCALE



CONCEPTUAL SCENE OF THE 4 HOUSES ON E. 9TH STREET - 3D VIEW RENDERING  
SCALE: NOT TO SCALE



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DRAWING AUTHOR:

SERGIO CRUZ  
Sr. Designer/Drafter DATE:

DESIGN REVIEW SET

EAST STREET ESTATES

PITTSBURG, CALIFORNIA  
DESIGN REVIEW

PROJECT ADDRESS:  
399, 403, 407 & 411 E. 9th  
Street and 400, 404, 408 &  
412 E. 9th Street  
Pittsburg, California 94565

DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

DATE: 10/03/2023  
SCALE: As Noted  
DRAWN BY: S. Cruz  
CHECKED BY: T. Kerslinke  
CAD FILE: .dwg  
PROJECT NAME: East Street Estates  
PROJECT NUMBER: Arcxen201906

A6.1

STREETS 3D  
VIEWS RENDERING

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10/03/2023

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Thursday, September 3, 2020





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Sr Designer/Drafter DATE:

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CONCEPTUAL SCENE ON EAST STREET - 3D VIEW RENDERING



CONCEPTUAL PERSPECTIVE - 3D VIEW RENDERING

EAST STREET ESTATES  
PITTSBURG, CALIFORNIA  
DESIGN REVIEW

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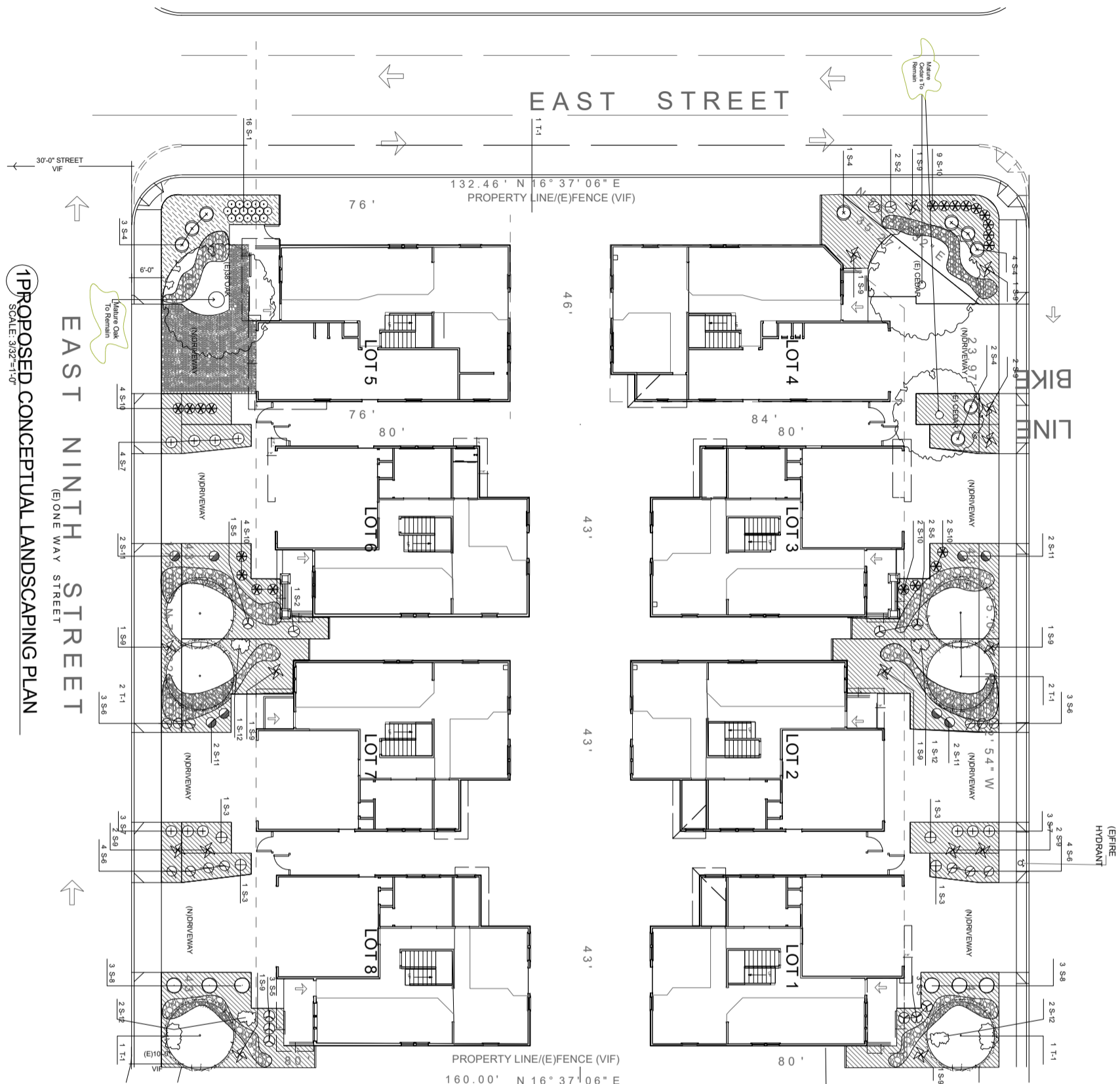
DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

DATE: 10/03/2023  
SCALE: As Noted  
DRAWN BY: S.Cruz  
CHECKED BY: T.Kenslinke  
GAD FILE: .dwg  
PROJECT NAME: East Street Estates  
PROJECT NUMBER: Arcxen201906

A6.2

STREETS 3D  
VIEWS RENDERINGS





EAST EIGHTH STREET  
(ONE WAY STREET)

DRAWING NOTES:

1. ALL LOTS FRONT YARDS AND CORNER SIDE YARDS SHALL BE IN COMPLIANCE WITH THE CITY OF PITTSBURG LANDSCAPE DESIGN REQUIREMENTS.
  2. THE PROPOSED LANDSCAPE DESIGN IS BASED ON PRODUCE TO ERUM PLANTS THROUGHOUT CONTROLLED.
  3. LANDSCAPING OF LOTS 1 THROUGH 8 ARE MERGED SIMILAR TO LANDSCAPING ON LOTS 6 THROUGH 8.
  4. OAK TREE ONLY LOT 4 IS TO BE SAVED. 2 EXISTING CEDAR TREES ONLY LOT 4 SHALL NOT BE REMOVED FOR ANY TYPE OF NEW CONSTRUCTION. IT SHALL REMAIN.
  5. PROVIDE ECO-STONE PAVING TO DRIVEWAY ON LOT 5 ONLY.
  6. REAR YARD LANDSCAPE BY OWNER TYPICAL.
  7. FOR FENCE AND FENCE DETAILS, SEE CIVIL ENGINEERING REFERENCE PLAN 02.
  8. PROVIDE (2) 1 1/2" SCHED. 40 STEEL'S UNDER DRIVEWAYS FOR COMPLETE IRRIGATION TYP.
  9. THE LANDSCAPE SHALL COMPLY WITH STANDARDS OF THE CURRENT MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).
- THE FINAL PERMIT LANDSCAPE PLANS SHALL INCLUDE:  
 1. THE SOIL MANAGEMENT REPORT  
 2. THE MAINTENANCE SCHEDULE  
 3. CERTIFICATION FROM THE LANDSCAPE ARCHITECT OR DESIGNER THAT THE LANDSCAPE DESIGN COMPLIES WITH THE CITY OF PITTSBURG LANDSCAPE DESIGN REQUIREMENTS OF THE CITY OF PITTSBURG MUNICIPAL CODE SECTION 18.94.300

PERCENTAGE OF FRONT YARD LANDSCAPING COVERAGE PER LOT

LOT	LOT AREA Sq. Ft.	COVERAGE %
1	3,440	10.9
2	3,440	14.2
3	3,440	10.3
4	3,951	10.4
5	3,486	10.0
6	3,440	13.2
7	3,440	11.6
8	3,440	12.8

PROPOSED PLANTS AND MATERIALS - USDA ZONE 9

SYMB.	SCIENTIFIC NAME	COMMON NAME
T1	MANGONIA X SOULANGIANA	Sourwood
SHRUBS (TO BE 5 GALLON SIZE)		
S-1	HORSEED BUSH	DONOVIA VISCOSA
S-2	RHAPHIOLIPS INDICA	BALEARNIA INDIAN HAWTHORN
ACCENT SHRUBS (1 GALLON SIZE)		
S-3	WESTINGIA FLUTICOSA	LOW HORIZON WESTINGIA
S-4	RHOODOENDRON SHEEZY	SNEEZY RHOODOENDRON
S-5	DIETES X NOLA A.L.B.	KATRINA AFRICAN IRIS
S-6	ELIJAH BLUE FESCUE GRASS	FETUSIA QUAIQA
S-7	BLUE OAT GRASS	HELIOCRICHON SILPHEWRENS
S-8	PEROVSKIA ATRIPLOFOLIA	LACEY BLUE BULBSM SAGE
S-9	PHORUMIUM JESTER	JESTER NEW ZEALAND FLAX
S-10	PEROVSKIA ATRIPLOFOLIA	FIRINGOIRS FOUNTAIN GRASS
LOW GROUND COVER TO MEDIAL SHRUBS		
S-11	ROSA NOLA	FLOWER COXABET CORAL GROUND COVER ROSE
S-12	CENTENNIAL HYBRID WILD LILAC	1 GALLON @ 2" @ C.
GROUND COVERS		
S-13	DELONIXIA ALBA	WHITER TRIPUNICE PLANT @ 2" @ C. FROM PLANS
S-14	RIVER ROCK BED	
S-15	ECO-STONE PAVING AT LOT 5 ONLY.	

\* TOPRESS ALL LEVEL AREAS WITH 4" DEEP CORAL ORGANIC BARK MULCH  
 \* INDICATES PRODUCE TO ERUM PLANTS

EAST STREET ESTATES  
PITTSBURG, CALIFORNIA  
DESIGN REVIEW SET

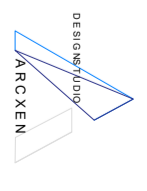
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Pittsburg, California 94565

DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

DATE: 10/03/2023  
 SCALE: As Noted  
 DRAWN BY: S.Chiz  
 CHECKED BY: T.Kendall  
 PROJECT NAME: East Street Estates  
 ARCHITECT/OWNER: Arcxen/Owner


10/03/2023

**L1.1**  
PROPOSED  
CONCEPTUAL  
LANDSCAPING PLAN




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**Shade Tree: Tree Detail**  
**SAUCER MAGNOLIA**  
 Magnolia x Soulangeana  
**Additional Common Names**  
 Chinese magnolia  
 Japanese magnolia  
**GENERAL INFO**  
 This tree is a hybrid of Magnolia chinensis and Magnolia speciosa. It is a large, evergreen tree with a rounded canopy. The leaves are dark green and glossy. The flowers are large, white, and fragrant. The tree is native to China and is widely cultivated in the United States.



**TREE CHARACTERISTICS**  
 Native to: China  
 Growth habit: Tree  
 Height: 20-30 ft.  
 Width: 15-20 ft.  
 Flower color: White  
 Flower size: 6-8 in.  
 Bloom time: Late spring to early summer  
 Fragrance: Strong  
 Foliage: Evergreen  
 Bark: Smooth, grey  
 Wood: Hard, white  
 Fruit: Red, fleshy  
 Toxicity: Non-toxic  
 Sun: Full sun to partial shade  
 Soil: Well-draining, slightly acidic  
 Water: Regular watering, especially in dry weather

**SITE CONDITIONS**  
 Hardiness zone: 7-9  
 Light: Full sun to partial shade  
 Soil: Well-draining, slightly acidic  
 Water: Regular watering, especially in dry weather



T-1 SAUCER MAGNOLIA

**Perfoliate Hesperaloe**  
 \*\*\*\*\*  
 This plant is a perennial grass with a dense, upright habit. The leaves are narrow and blade-like. The flowers are bright red and tubular. The plant is native to the southwestern United States and is widely cultivated in the United States.



**S-1 DONONAEA VISCOSA**



S-1 DONONAEA VISCOSA

**Katrina African Iris**  
 \*\*\*\*\*  
 This iris is a hybrid of Iris sibirica and Iris germanica. It has a dense, upright habit with long, narrow leaves. The flowers are large and multi-colored, with a mix of purple, blue, and white. The plant is native to Europe and is widely cultivated in the United States.



**S-2 BALLEERINA INDIAN HAWTHORN**



S-2 BALLEERINA INDIAN HAWTHORN

**Low Horizon Westringia**  
 \*\*\*\*\*  
 This plant is a perennial shrub with a dense, upright habit. The leaves are narrow and blade-like. The flowers are bright blue and tubular. The plant is native to Australia and is widely cultivated in the United States.



**S-3 LOW HORIZON WESTRINGIA**



S-3 LOW HORIZON WESTRINGIA

**Sneezy Rhododendron**  
 \*\*\*\*\*  
 This rhododendron is a large, upright shrub with a dense, upright habit. The leaves are broad and dark green. The flowers are large and bright pink. The plant is native to the Himalayas and is widely cultivated in the United States.



**S-4 SNEEZY RHODODENDRON**



S-4 SNEEZY RHODODENDRON

**Katrina African Iris**  
 \*\*\*\*\*  
 This iris is a hybrid of Iris sibirica and Iris germanica. It has a dense, upright habit with long, narrow leaves. The flowers are large and multi-colored, with a mix of purple, blue, and white. The plant is native to Europe and is widely cultivated in the United States.




**S-5 KATRINA AFRICAN IRIS**




S-5 KATRINA AFRICAN IRIS

**Eluah Blue Fescue**  
 \*\*\*\*\*  
 This grass is a perennial grass with a dense, upright habit. The leaves are narrow and blade-like. The flowers are bright blue and tubular. The plant is native to the Mediterranean region and is widely cultivated in the United States.



**S-6 ELUAH BLUE FESCUE**



S-6 ELUAH BLUE FESCUE

**Blue Oat Grass**  
 \*\*\*\*\*  
 This grass is a perennial grass with a dense, upright habit. The leaves are narrow and blade-like. The flowers are bright blue and tubular. The plant is native to the Mediterranean region and is widely cultivated in the United States.



**S-7 BLUE OAT GRASS**



S-7 BLUE OAT GRASS

**Lacey Blue Russian Sage**  
 \*\*\*\*\*  
 This shrub is a perennial shrub with a dense, upright habit. The leaves are narrow and blade-like. The flowers are bright blue and tubular. The plant is native to the Mediterranean region and is widely cultivated in the United States.



**S-8 LACEY BLUE RUSSIAN SAGE**



S-8 LACEY BLUE RUSSIAN SAGE

**Jester New Zealand Flax**  
 \*\*\*\*\*  
 This flax is a perennial grass with a dense, upright habit. The leaves are broad and blade-like. The flowers are bright orange and tubular. The plant is native to New Zealand and is widely cultivated in the United States.



**S-9 JESTER NEW ZEALAND FLAX**




S-9 JESTER NEW ZEALAND FLAX

**Fireweed Fountain Grass**  
 \*\*\*\*\*  
 This grass is a perennial grass with a dense, upright habit. The leaves are narrow and blade-like. The flowers are bright red and tubular. The plant is native to the Mediterranean region and is widely cultivated in the United States.



**S-10 FIREWORKS FOUNTAIN GRASS**



S-10 FIREWORKS FOUNTAIN GRASS

**Flower Carpet Coral Ground Cover Rose**  
 \*\*\*\*\*  
 This rose is a perennial shrub with a dense, upright habit. The leaves are broad and dark green. The flowers are bright pink and tubular. The plant is native to the Mediterranean region and is widely cultivated in the United States.



**S-11 FLOWER CARPET CORAL GROUND COVER ROSE**



S-11 FLOWER CARPET CORAL GROUND COVER ROSE

**Centennial Hybrid Wild Lilac**  
 \*\*\*\*\*  
 This lilac is a perennial shrub with a dense, upright habit. The leaves are broad and dark green. The flowers are bright purple and tubular. The plant is native to the Mediterranean region and is widely cultivated in the United States.



**S-12 CENTENNIAL HYBRID WILD LILAC**



S-12 CENTENNIAL HYBRID WILD LILAC

DESIGN STUDIO  
**ARCXEN**

WESTRINGIA, S-SHUB & SPACING SERVICES  
 MATH - MATH - SANTA CLARA COUNTY  
 & SOLANO - SACRAMENTO COUNTY  
 1-888-977-2303 www.arcxen.com

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 S-Designer/Author DATE: \_\_\_\_\_

**EAST STREET ESTATES**  
**PITTSBURG, CALIFORNIA**  
**DESIGN REVIEW**


PROJECT ADDRESS:  
 399, 403, 407 & 411 E. 9th  
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 412 E. 9th Street  
 Pittsburg, California 94455

DATE	NO.	REVISION
08/29/2020	1	PLAN CHECK

DATE: 10/03/2023  
 SCALE: As Noted  
 DRAWING: S-CRIZ  
 CHECKED BY: T-KERNERKE  
 PROJECT NAME: East Street Estates  
 PROJECT NUMBER: Arcxen/201906

**L2.1**  
 TYPICAL PLANTS

REF NORTH



ARCXEN DESIGN STUDIO, 8-2078 Arcxen Avenue  
 10/03/2023

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Community and Economic Development Department – Planning Division

**MEMORANDUM**

**Date:** March 13, 2024

**To:** Community and Economic Development Subcommittee Members

**From:** Maurice Brenyah-Addow, Senior Planner

**Re:** **Item 2.b: Pedestrian Commercial (CP) Zone Assessment**

---

Proposed Project: Review of Draft Performance Standards intended to address certain non-retail ground-floor uses within the CP (Pedestrian Commercial) Zoning District of Downtown Pittsburg (particularly on Railroad Avenue) where they are currently only permitted upon approval of a conditional use permit application.

Background: The Economic Development and Waterfront Subcommittee directed staff to perform an assessment of the CP zone district to ascertain what land uses could be permitted to fill vacant ground-floor commercial spaces along Railroad Avenue without the need to apply for a conditional use permit in the Downtown CP District. Staff has completed the assessment and provided findings to the LUS.

On Saturday, August 12, 2023, Staff also organized Walking Tours of Downtown/Marina areas of Benicia and Martinez for City Councilmembers and the public. The intent of the tour was to enable councilmembers, staff, and interested parties to visit comparable cities in Contra Costa County to assess concepts that have been successful for those cities and how similar concepts can be used to enhance the Downtown/Marina.

As a result of Staff's assessment and findings from the walking tours, Staff is proposing the Performance Standards for selected ground-floor uses on Railroad Avenue including outdoor seating (Attachments 2-3) in the CP District.

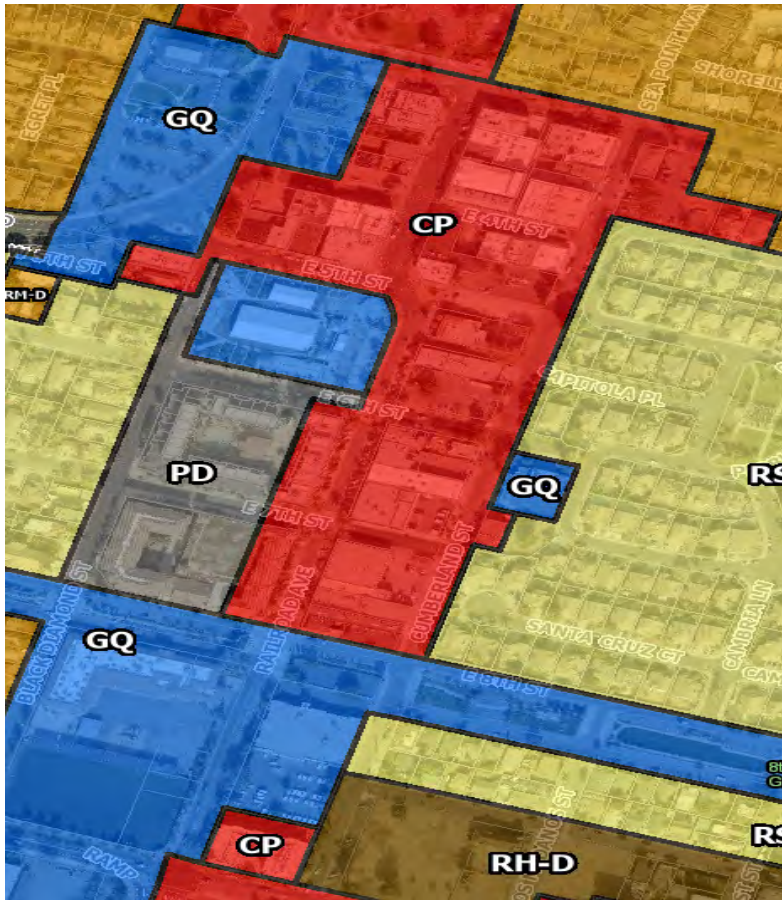
Next Steps: Based on the CED Subcommittee's feedback and direction, staff will revise, edit, and prepare Text Amendments as necessary for the Planning Commission review and City Council approval.

Attachments:

1. Location Map
2. Draft Performance Standards
3. Draft Outdoor Seating Standards
4. Sidewalk Café Illustrations



## Pedestrian Commercial (CP) District



Existing Zoning



Suggested changes to allowable uses

**Green** – Keep Use Permit requirement for non-retail ground floor uses

**Yellow** – Outrightly permit outdoor seating

**Blue** – Allow non-retail uses without Use Permits



## Draft CP Zone/Marina Performance Standards

### Storefront Openness

- 60% Transparent Storefront Glazing
- 75% open at Pedestrian Eye Level – between 4 – 8 feet in height above sidewalk level
- Window display booths within first 4 feet
- No Window blind within display booth area
- Security bars only permitted on interior. Some decorative security bars may be permitted on exterior upon Planning review and approval.

### Window Signage/Logos

- Not more than 25% of window area
- Three colors maximum
- No flashing/moving signs
- No neon signs

### Landscaping

- Planters and plants not larger than 24 inches in width allowed within ROW upon execution of standard hold harmless agreement.
- 5 – foot minimum clearance from obstructions to allow ADA path within sidewalk
- Maintain plants in healthy growing status at all times.
- Trim plants to comply with other performance standards.

### Parklets - Borrow ideas from Oakland Program

- Permittees
- Location
- Operations
- Traffic Safety
- Design
- Accessibility
- Fire Safety
- Removal
- Public Notice

### Outdoor Seating – Borrowed from Oakland. Compare with current Pittsburg standards

### Parks/Plazas

- No permit if:
  - o Less than 100 people
  - o No alcohol
  - o No Amplified Music
  - o No vendors
  - o No enclosed tents
- Special Event Permit Or Temporary Activity Permit - Otherwise

## ATTACHMENT 3

### **(Draft) OUTDOOR SEATING STANDARDS**

Outdoor Seating and related structures provide an opportunity to bring pedestrian activity and visual interest to a street, alleyway, or public plaza. Outdoor seating provides many types of commercial business opportunities for additional seating during seasonal increases in business. All Outdoor Seating proposing to locate within the public right of way must obtain an encroachment permit from the City's Engineering Services Division and comply with all requirements imposed by other affected Departments.

### **LOCATION AND SIZE PARAMETERS**

- a) Outdoor Seating shall leave a minimum of six feet of unobstructed sidewalk remaining and available for pedestrian purposes.
- b) Seating should be limited to the extended space in front of the storefront.
- c) The size of outdoor seating areas should be ancillary to any interior seating area. A good ratio full-service restaurant is a 2/3 interior dining and 1/3 exterior dining ratio.
- d) Partitions and other physical barriers should be installed or constructed in such a way that allows cafe patrons to be visible to people passing by and so that views of the streetscape are visible to cafe patrons.
- e) Cafe or outdoor seating adjacent to major thoroughfares should construct partitions or balustrades that separate street from sidewalk.
- f) Outdoor seating areas should receive ample natural light. Where areas face south or are subject to glare, sun shading should be provided.
- g) Outdoor seating should not impede or jeopardize access to or privacy of neighboring storefronts or buildings.
- h) Avoid blocking any vehicular or pedestrian sightlines that may result in safety problems.

### **BARRIERS, DIVIDERS, AND PARTITIONS**

a) Solid partitions such as wood, bricks, fabric, metal, or decorative iron fence partitions may be erected that are no higher than 3 feet. Solid opaque partitions such as windbreaks or other screens up to 5 feet may be installed at the end of cafe seating areas placed in alleys or other off-street areas or buildings adjacent to industrial uses. In general, partition material should be complementary to the character of the building and surrounding district. Partitions shall not be constructed of glass, chain-link fences, or any material deemed unsafe to passing pedestrians or unsightly.

b) Partition layout should incorporate spaces for plants and flowers, particularly at sides closest to pedestrian traffic on sidewalk. Appropriate materials for planters include brick, stone, cast stone or other high-quality concrete.

c) Each partition shall be designed to support weight leaning against it and designed in a way so that it cannot be easily stepped over, moved or knocked over. Partitions and other physical barriers shall provide a minimum 36 inches wide opening for accessible access. Partitions and other physical barriers shall be designed to be easily removable. Any sleeves or supports shall be designed and/or covered in such a manner that they do not create tripping hazards when the barrier is removed. Partitioned areas shall be designed to meet all relevant building code requirements regarding entrances/exits. Any partition, fence must have an accessible egress gate 36" wide with panic hardware installed for egress from the area.

d) Paving materials, if installed, should be stone, ceramic clay tiles, brick, cast-stone or other high-quality concrete. Avoid poured asphalt. Raised wood platforms, not to exceed 2 feet off the finished grade, may be considered as a seating stage in less formal contexts.

### **SEATING, TABLES, UMBRELLAS AND OTHER AMENITIES**

a) Seating should match or be compatible with associated tables as far as style and materials. Accessible seating space must also be provided for each type of seating provided in the area.

b) Table umbrellas may be installed provided they contain no writing, pictures, or advertisements. Structural or other overhead coverings, besides awnings attached to buildings are not appropriate and must be processed under regular design review.

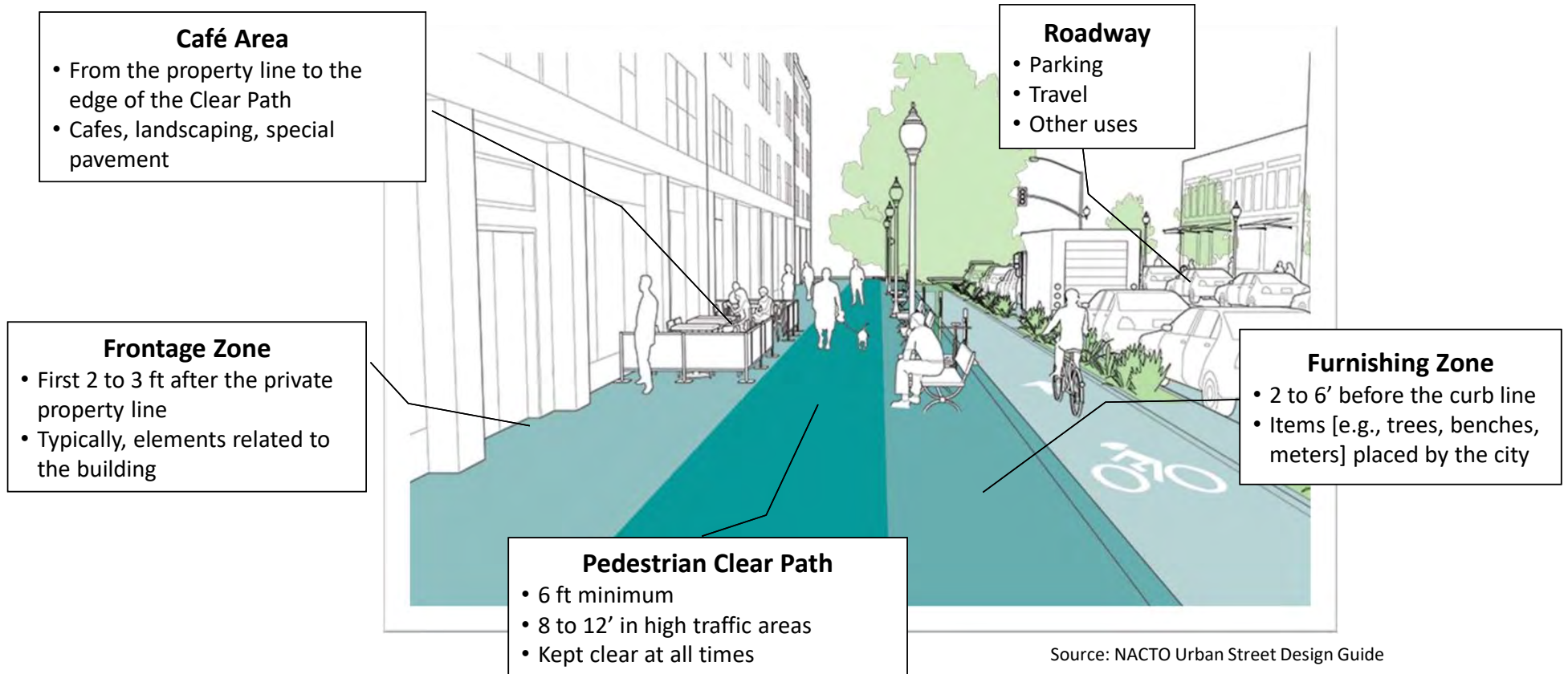
c) Incorporate, where appropriate, amenities to provide additional outdoor seats or benches. Seating areas may also incorporate artwork, statues, water features and similar elements that will increase visual interest to patrons and pedestrians.

d) Convenient trash cans should be provided within the cafe space which shall be emptied daily (existing city trash cans may not be used). Permanent areas and enclosures for waste disposal or recycling shall not be placed in the public right-of-way.

e) Lighting fixtures must be shielded to avoid direct view of the bulbs or other light sources.

f) Landscaping should be consistent with urban streetscaping. For any general site landscaping, street trees and hardy shrubs and groundcover should be used, especially encouraged are native and drought tolerant species.

# Five Distinct parts of Public Space



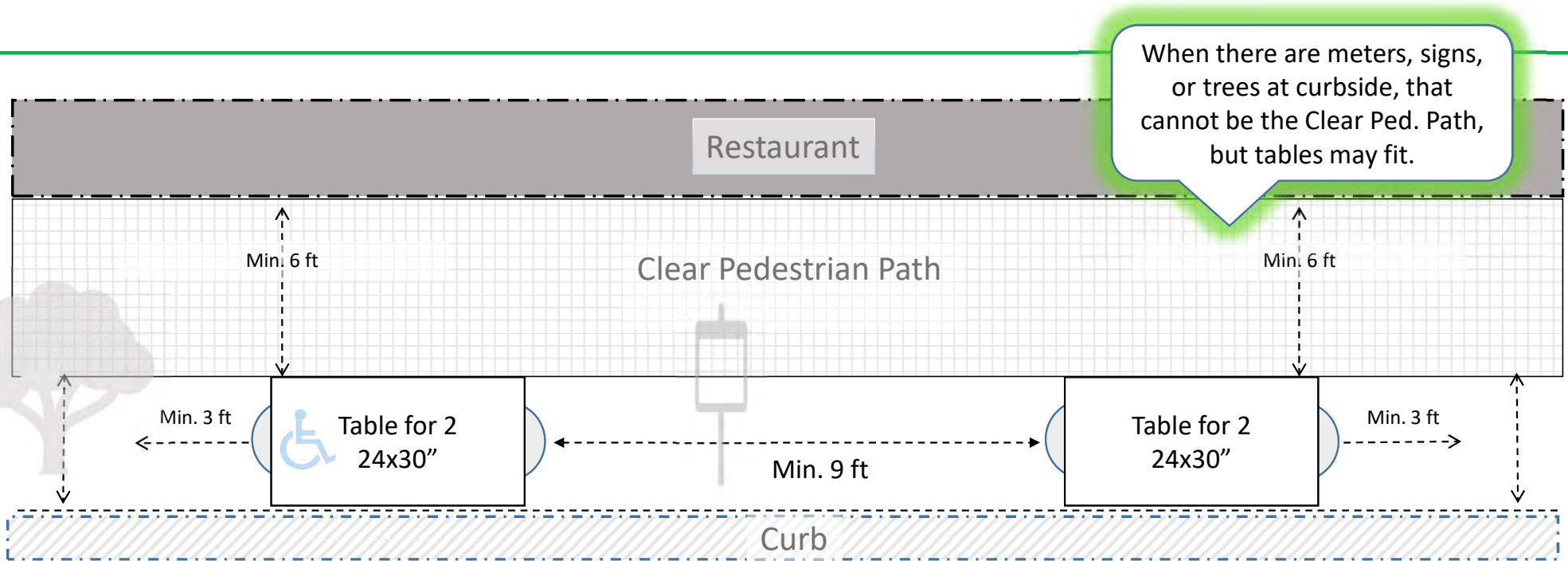
# Seating in the Frontage Area

## Frontage Zone

- Up to 2 feet from the property line

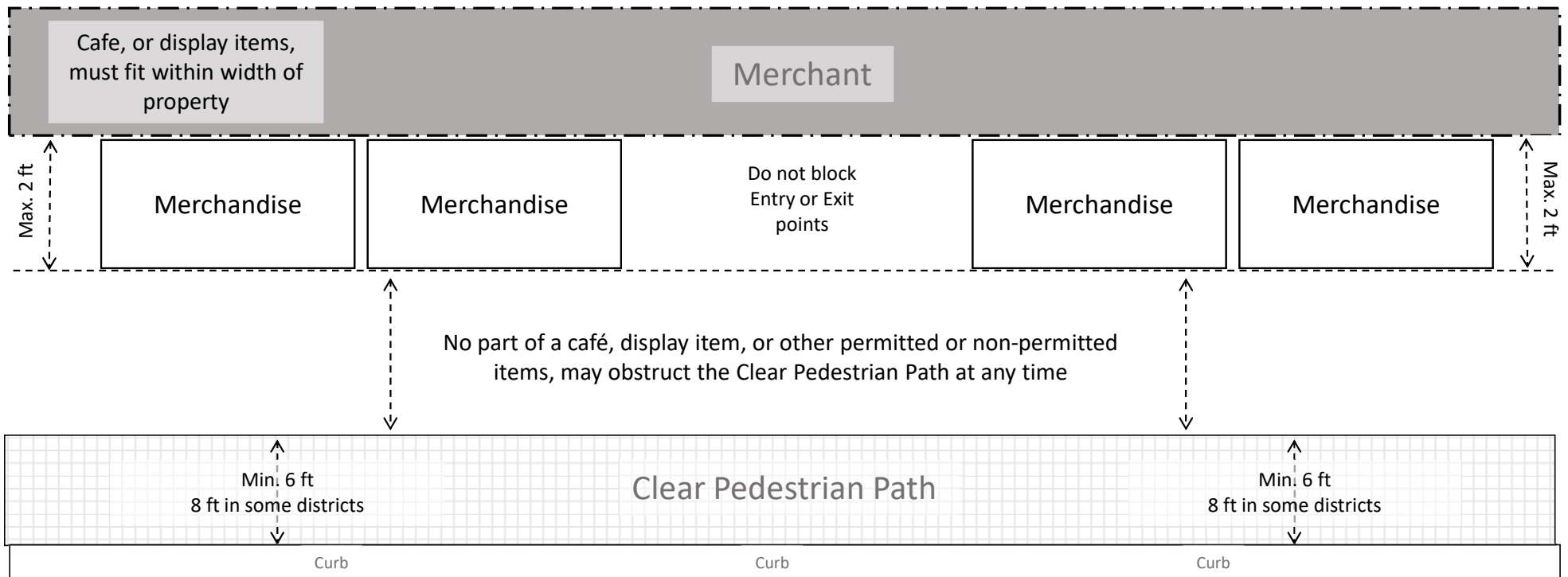


# Curbside seating – 2 tables, 4 seats



No part of a café, or other permitted or unpermitted items, may obstruct the Clear Pedestrian Path at any time

# Frontage area – Merchandise Display

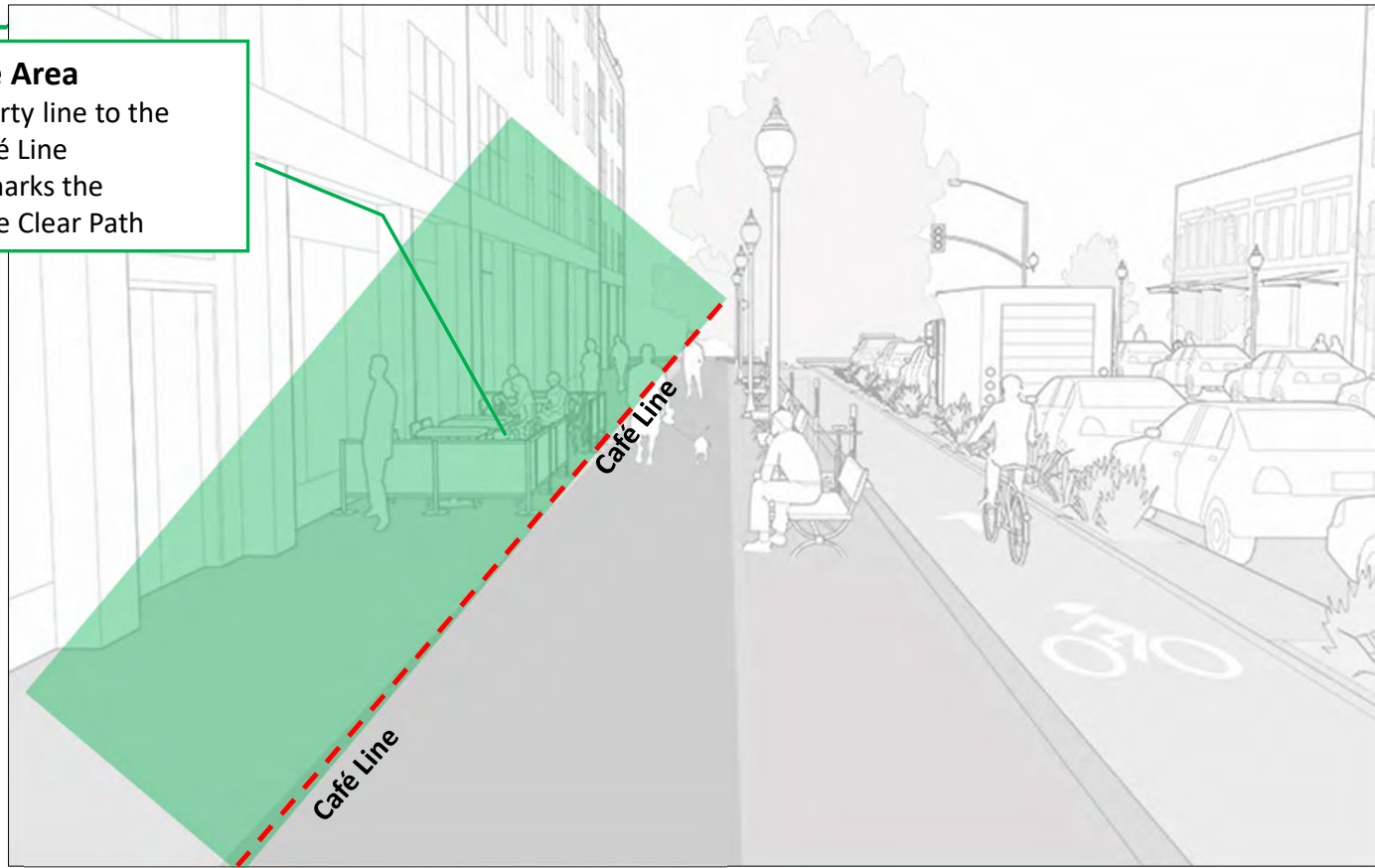




# To the café line

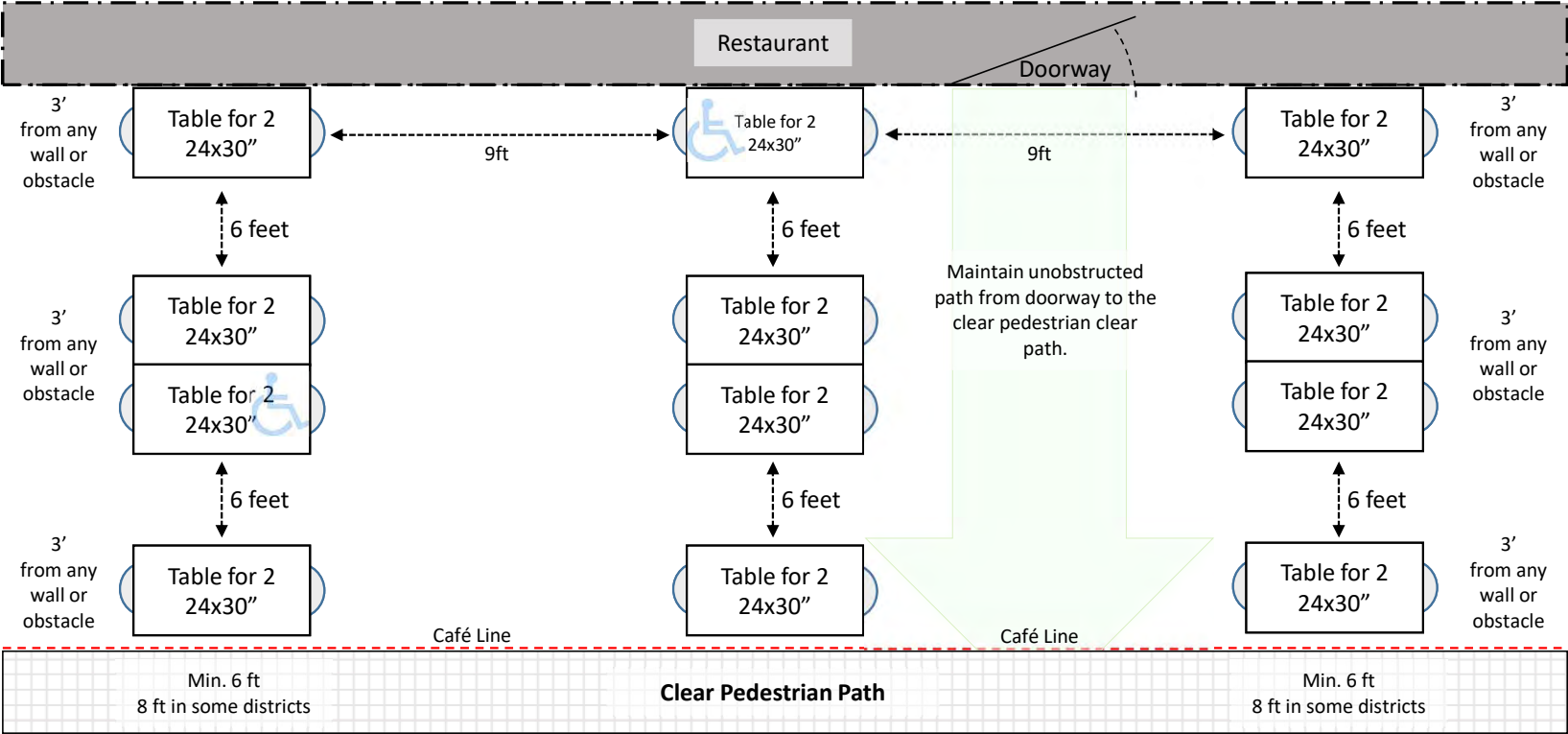
## Café Area

- From the property line to the edge of the Café Line
- The Café Line marks the beginning of the Clear Path



# Sidewalk seating extending to the café line

## 9 tables, 24 seats



# Types of Stable Barriers

## Examples of Stable Barriers



Fence panels with w/posts & base plates

Café barrier with wide base



Planters built-in as barriers





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Community and Economic Development Department – Economic Development Division

**MEMORANDUM**

Date: March 13, 2024

To: Community and Economic Development Subcommittee

From: Robert Carrera, Economic Development Manager

Re: **Item No. 3.a: Update on Façade Improvement Grant Program Applications**

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On February 1, 2024, the City launched its Façade Improvement Grant Program, which provides qualified local businesses with up to \$10,000 in grant funds to improve and enhance the façade exteriors of their building. Applications are being accepted until June 30th, 2024 or until funds for the program run out, whichever occurs first. Information on the program, including the guidelines and application, can be found by visiting [www.pittsburgca.gov/facadegrants](http://www.pittsburgca.gov/facadegrants).

The City has received and rated a complete application for the Façade Improvement Grant Program. The following provides basic information on the applicant and the scope of work they are proposing to conduct utilizing Façade Improvement Grant funds. Also provided are photographs of the property to be worked on under their Façade Improvement Grant Program applications. Staff is seeking feedback from member of the subcommittee on the proposed scope of work. City staff will make the final decision of approval, and will work with applicant to have them meet any permitting or entitlement requirements, if necessary, as a condition for receiving grant funds.

**Property Address:** 441 East Tenth Street

**Business Name:** East County Glass and Window, Inc.

**Proposed Scope of Work:** Applicant proposes to repaint front exterior of the building. Work includes power washing, application of caulking and primer as needed, repair to stucco walls, and application of two coats of Sherwin Williams or Dunn Edwards paint.

**Estimated Total Project Cost:** \$10,500

**Grant Amount Requested:** \$5,000

Attachments:

Exhibit A: Photographs of 441 East Tenth Street



## MEMORANDUM

To: Community and Economic Development Subcommittee

From: Robert Carrera, Economic Development Manager

Re: **Agenda Item No. #**

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### Item No. #: Update on Façade Improvement Grant Program Applications

On February 1, 2024, the City launched its Façade Improvement Grant Program, which provides qualified local businesses with up to \$10,000 in grant funds to improve and enhance the façade exteriors of their building. Applications are being accepted until June 30th, 2024 or until funds for the program run out, whichever occurs first. Information on the program, including the guidelines and application, can be found by visiting [www.pittsburgca.gov/facadegrants](http://www.pittsburgca.gov/facadegrants).

As of this writing, the City has received and rated two complete applications for the Façade Improvement Grant Program. The following provides basic information on the applicant and the scope of work they are proposing to conduct utilizing Façade Improvement Grant funds. Also provided are photographs of the properties to be worked on under their Façade Improvement Grant Program applications. Staff is seeking feedback from member of the committee on the proposed scopes of work for each application. City staff will make the final decision of approval, and will work with applicants to have them meet any permitting or entitlement requirements, if necessary, as a condition for receiving grant funds.

**Property Address:** 441 East Tenth Street

**Business Name:** East County Glass and Window, Inc.

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**Estimated Total Project Cost:** \$10,500

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Attachments:

Exhibit A: Photographs of 441 East Tenth Street



Exhibit A



N  
W S  
**EAST COUNTY GLASS**  
& WINDOW, INC.

SHOWERS SCREENS MIRRORS TABLETOPS WINDOWS PARTS

NO  
PARKING  
ANY  
TIME





# BUSINESS FRIENDLY CHECKUP

**City of Pittsburgh**  

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**Results Report**





February 21, 2024

Mr. Garrett Evans, City Manager  
Mr. Jordan Davis, Director of Community and Economic Development  
City of Pittsburg

Dear Garrett and Jordan,

Thank you for taking the Business Friendly Check-up and your commitment to being a business friendly community!

While local governments work hard to create sustainable and livable communities, misperceptions may prevent businesses from seeing the opportunities available in your community.

To counteract misinformation and negative attitudes about doing business in California, it's important for Cities and Counties to let businesses, site selectors, real estate brokers, and developers know that they are "open for business" by instilling pro-business policies that welcome businesses while providing efficient, excellent customer service at reasonable rates. Below are your results.

## **YOUR RESULTS**

### **1. BUILDING PERMIT REVIEW & APPROVAL**

Congratulations! It looks like the City of Pittsburg's permit approval timelines are quick and streamlined. Your City/County understands the importance of having clear, reasonable, and predictable processes for the development of land to facilitate job creation. Business Friendly Cities/Counties regularly review their approach to working with businesses and refine the process continuously, while department heads meet regularly to identify opportunities to streamline and eliminate duplication of effort.

**YOUR SCORE:** 16 out of 18 | Excellent

### **2. TAXES**

The City of Pittsburg has made headway in business tax rates, and it looks like there may be additional opportunities for improvement. Taxes matter to businesses. Business taxes affect business decisions, job creation and retention, location, and competitiveness. Most importantly, taxes diminish business profits. Business Friendly Cities and Counties offer lower tax rates to attract investment, and new businesses and encourage existing businesses to stay and expand locally. Business tax revenue supports essential community assets including public employees, parks and amenities, roads and infrastructure, public safety, and housing funding.

**YOUR SCORE:** 10 out of 13 | Good



### **3. FEES**

It looks like the City of Pittsburg is off to a good start and has the opportunity for continued improvement in business fees. Business Friendly Cities and Counties offer low fees to attract investment, and new businesses and encourage existing businesses to stay and expand locally. Finding the right balance in terms of fees and taxation increases business productivity and output, employment, wages, and prosperity for the community over the long term.

**YOUR SCORE:** 8 out of 14 | Satisfactory

### **4. INCENTIVES & SPECIAL ZONES**

The City of Pittsburg has the opportunity for ongoing continued improvement in expanding available incentives and special zones. Business Friendly Cities and Counties offer competitive advantages in targeted areas that save businesses time and money. Examples include sales tax sharing agreements, Transient Occupancy Tax sharing agreements, disposition and development agreements, operating covenant agreements, reimbursement agreements, expedited permits, fee reductions and/or waivers, shop local, hire local, façade improvement programs, specific plans, assistance with lease negotiations to help reduce vacancies, housing density bonuses, and the Business Watch program, similar to the Neighborhood Watch program.

**YOUR SCORE:** 5 out of 12 | Opportunity for Improvement

### **5. ECONOMIC DEVELOPMENT**

The City of Pittsburg is doing a good job in economic development and has opportunities to create additional programs. Effective economic development programs maintain, increase, and diversify a City's tax base, increase revenues faster than the cost of municipal services increases, attract and retain businesses and jobs, increase per capita income, recognize local products, form beneficial partnerships between local governments, businesses, and community members, create economic vitality and diversification for commercial and industrial areas, maximize property through highest and best use, and create a self-sufficient economy in the face of state and federal budget issues.

**YOUR SCORE:** 14 out of 20 | Good

### **6. COMMUNICATION WITH BUSINESSES**

The City of Pittsburg is off to a good start and has the opportunity for continued improvement in communication with businesses. Business Friendly Cities and Counties are responsive, have a "can do" attitude, and use a multipronged approach to keep their businesses "in the know", including business newsletters, business recognition programs, City Manager's and County General Manager's Quarterly Business Roundtable, posting on LinkedIn, and a Customer Satisfaction Survey.

**YOUR SCORE:** 10 out of 18 | Satisfactory

## 7. COMMITMENT TO CUTTING RED TAPE

Congratulations! It looks like the City of Pittsburg has committed to cutting the red tape. The City of Pittsburg understands that "time is money" to businesses, and it's important for the City to have quick approvals for business licenses, offers over-the-counter approvals, and expedited permits. Business Friendly Cities and Counties regularly hold round tables with real estate brokers, architects, developers, engineers, and business owners to help streamline the entitlement processes and improve communication strategies.

**YOUR SCORE:** 15.5 out of 16 | Excellent

RGS' free Business Friendly Check-Up for Cities and Counties throughout California is designed to help Cities and Counties be proactive in their business expansion, attraction, and retention efforts.



As we all know, "the best defense is a good offense." You and your team can take effective action to counteract misinformation and negative attitudes about doing business in California.

If you'd like to learn more about how to enhance the City of Pittsburg's business friendly attributes, please contact Carrie Rogers, Strategic Services Consultant and Co-Lead, Economic Development Service Line, at (650) 587-7300, ext. 31 or [crogers@rgs.ca.gov](mailto:crogers@rgs.ca.gov), or Bob Machuca, Senior Advisor, Economic Development at (650) 587-7300, ext. 48 or [bmachuca@rgs.ca.gov](mailto:bmachuca@rgs.ca.gov).