

Draft

**Supplemental Environmental Impact Report
Black Diamond Redevelopment Project**

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Acronyms and Abbreviations

ARG	Architectural Resources Group
BCA	Biggs Cardosa Associates, Inc.
CEQA	California Environmental Quality Act
CHRIS	California Historical Resources Information System
CRHR	California Register of Historical Resources
District	New York Landing Historic District
DPR	Department of Parks and Recreation
EIR	Environmental Impact Report
KMA	Keyser Marston Associates
M	Million
NAHC	Native American Heritage Commission
NOP	notice of preparation
NRHP	National Register of Historic Places
NWIC	Northwest Information Center
Pittsburg Society	Pittsburg Society for Preservation of Historical Resources
PRC	Public Resources Code
Proposed Project	Black Diamond Redevelopment Project
RGK	RGK Construction Services, Inc.
SEIR	supplemental environmental impact report
UCBC	Uniform Code for Building Conservation
URM	Unreinforced Masonry

Introduction

The City of Pittsburg is preparing a supplemental environmental impact report (SEIR) for its Black Diamond Redevelopment Project (Proposed Project). The City of Pittsburg is the lead agency under the California Environmental Quality Act (CEQA). This document is supplemental to the Final Environmental Impact Report (EIR) prepared and certified for the Proposed Project in 2005. The certified EIR consists of a Draft EIR dated August 2005 and a Final EIR dated October 2005 (SCH 2004122013), incorporated herein by reference. The certified EIR is available for review at the Pittsburg Civic Center, 65 Civic Avenue, Pittsburg, CA., during normal business hours.

The Proposed Project is located in the vicinity of the New York Landing Historic District (District). The 2005 EIR indicated that the Proposed Project would have a significant impact on the Scampini Building, a contributor to the District. The impact of the Proposed Project on the District itself was not analyzed.

In December 2005, the Pittsburg Society for Preservation of Historical Resources (Pittsburg Society) filed a lawsuit against the City, City Council of the City of Pittsburg, and the Planning Commission of the City of Pittsburg, challenging among other matters the adequacy of the CEQA-related study (2005 EIR) and the Proposed Project approvals regarding demolition of the Scampini Building. As part of a settlement agreement, all parties involved agreed that the City would undertake the preparation of an SEIR to consider the retention of the Scampini Building as a project alternative and certify the SEIR as adequate. As part of the analysis, the SEIR will study the Scampini Building under its present zoning and as it existed prior to City approval of the Proposed Project.

Because the 2005 EIR did not assess the District as a whole, and because it did not assess the buildings within the District for their individual significance, the SEIR will assess the effect of the Proposed Project on the District and determine the individual significance of the Scampini Building; it will also assess the effect of the Proposed Project on the building as an individual resource and as a contributor to the District. In addition, it will discuss the cost of retaining or incorporating the Scampini Building into the Proposed Project. Otherwise, all parts of the 2005 EIR are assumed to be adequate for purposes of CEQA and no additional analyses are necessary.

In conjunction with the SEIR, the City of Pittsburg also requested that Jones & Stokes update the analysis for archaeological resources to assess the potential for discovering buried resources during construction.

Summary of Impacts and Mitigations

The following supplemental significant impacts and related mitigation measures are identified in this Draft SEIR.

Impact CULT-1: Potential for Ground-Disturbing Activities to Damage Previously Unidentified Buried Cultural Resource Sites

Mitigation Measure Cult-1: Stop Work if Cultural Resources are Discovered during Ground-Disturbing Activities.

Impact CULT-2: Potential to Damage Previously Unidentified Human Remains

Mitigation Measure CULT-2: Comply with State Laws Pertaining to the Discovery of Human Remains

Please see the text for full discussion of these impacts and mitigation.

Project Description

The Black Diamond project site is located in downtown Pittsburg, California, and consists of 39 parcels on three city blocks (Figure 3). The Proposed Project site is bounded by East Fifth Street on the north, Railroad Avenue on the east, East Eighth Street on the south, and Black Diamond Street on the west.

The Project, as initially proposed by the applicant and as analyzed in the 2005 EIR, consists of a mixed-use development of 195 residential units and approximately 40,000 square feet of ground-floor retail space with covered, private parking spaces for the residential units. Residential units would range from one-bedroom lofts or flats to three-bedroom townhouses. Three separate buildings are proposed at the Project site: Buildings A, B, and C. Building A would be located on the northern block and provide 66 residential units and 119 residential parking spaces. The Scampini Building is located on the site of the proposed Building A. Building B would be located on the center block and provide 75 residential units in addition to a pool, recreation center, and 135 residential parking spaces. Building C, located on the southern block, would provide 54 residential units and 97 residential parking spaces. On-site parking would be provided on the ground floor of each proposed structure, with covered, on-site parking provided at a ratio of 1.8 residential parking spaces for each residential unit. In the course of preparing design-level plans, the applicant has refined the commercial component to approximately 32,000 square feet of ground-floor retail space. The project would demolish the Scampini Building and place residential development on the site.

Project Objectives

As described in the 2005 EIR, the Proposed Project has the following objectives:

- promote downtown revitalization;



Source: City of Pittsburgh Redevelopment Agency

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- serve as a catalyst for future development and investment in the downtown area by the private sector;
- provide ground-floor commercial uses along Railroad Avenue, to promote the development of Railroad Avenue as a quality retail corridor;
- provide high-density residential development as a means of increasing the number of persons living in the downtown area, creating an increased demand for goods and services within the immediate market area;
- expand the City’s inventory of affordable housing, with at least 15 percent of all residential units developed at the Project site meeting the City’s criteria as “affordable” units; and
- provide an example of “smart growth” on an urban infill site within a transit-friendly environment.

Areas of Known Controversy to be Resolved

CEQA Guidelines Section 15123(b) requires that areas of controversy known to the lead agency be identified, including issues raised by other agencies and the public. The following concerns and issues of controversy were raised.

The Pittsburg Society challenged the adequacy of the cultural findings of the EIR specific to the Scampini Building. The Proposed Project proposes demolition of the Scampini Building. An area of controversy was whether it was feasible to retain the building. The focus of this SEIR is to determine potential impacts on cultural resources within the Proposed Project area, including the historic district and the Scampini Building.

Purpose and Scope of SEIR

CEQA Section 21166 provides that when an EIR has been prepared for a project, no subsequent or supplemental EIR is required unless major revisions to the prior EIR are necessary due to (i) substantial changes proposed in the project, (ii) substantial changes in the surrounding circumstances, or (iii) the availability of new information that was not known when the prior EIR was certified. To implement this provision, Section 15162(a) of the CEQA Guidelines provides that a *subsequent* EIR be prepared for a project after an EIR has been certified, if substantial evidence in light of the whole record supports any of the following conclusions.

- Substantial changes are proposed in the project, which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or substantial increase in the severity of previously identified significant effects.
- Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR

due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.

- New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or negative declaration was adopted shows any of the following.
 - The project will have one or more significant effects not discussed in the previous EIR.
 - Significant effects previously examined will be substantially more severe than shown in the previous EIR.
 - Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.
 - Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

If the criteria under Section 15162 would require a subsequent EIR, Section 15163 of the CEQA Guidelines indicates that an agency may choose to prepare a *supplemental* EIR, rather than a subsequent EIR, if only minor additions or changes would be necessary to make the previous EIR adequately apply to the project in the changed situation. A supplemental EIR need contain only the information necessary to make the previous EIR adequate for the project as revised (CEQA Guidelines, Section 15163[b]).

This SEIR is being prepared to assess the environmental impacts of the Proposed Project on cultural resources within the project area pursuant to CEQA. The document is being prepared pursuant to Section 15163 of the State CEQA Guidelines. In accordance with that section, this SEIR addresses the alleged deficiencies in the previous EIR in regards to cultural resources and focuses only on the additional information necessary to make the previous EIR adequately apply to the Proposed Project. Consequently, this document represents an update of cultural resources material appearing in the 2005 EIR. The remaining portion of the EIR, including the project description and analysis, is unchanged.

SEIR Process

When one or more state agencies will be a responsible agency or trustee agency, a notice of preparation (NOP) must be filed with the State Clearinghouse (CEQA Guidelines, Section 15082[d]). The NOP is provided to appropriate state agencies and invites them to offer comments during the scoping period, which is a minimum of 30 days following the filing of the NOP. An NOP for the Black Diamond Redevelopment SEIR was filed on November 9, 2006.

Agencies and Approvals

Under CEQA, a *lead agency* is the California government agency that has the principal responsibility for carrying out or approving a project and thus the principal responsibility for preparing CEQA documents. As the lead agency for the Proposed Project, the City is responsible for certifying this SEIR.

A *responsible agency* under CEQA is a public agency that proposes to carry out or approve a project for which a lead agency is preparing or has prepared an EIR. The Redevelopment Agency of the City of Pittsburg is a responsible agency. The remaining permits and approvals for the Proposed Project are anticipated to include approving the demolition.

This SEIR provides contextual background information on cultural resources in the Proposed Project, including the area's prehistoric, ethnographic, and historic settings; summarizes the results of previous archaeological and architectural investigations in the Proposed Project area; and analyzes the Proposed Project's potential impacts on cultural resources.

Background

The Historic Preservation Tax Incentives Program was initiated through the Tax Reform Act of 1976 to encourage rehabilitation and revitalization of communities in the United States through the use of tax incentives. Properties located within local historic districts that are designated under a State or local statute may qualify for preservation tax incentives only if the Secretary of the Interior has certified the statute or ordinance that created the district. Locally designated districts must either be listed in the National Register of Historic Places (NRHP) or be of a measurable (i.e., under State or local statute) historic significance that is comparable to the criteria set forth under the NRHP. Unlike the NRHP listing process, however, the certification process for tax properties is quicker and simpler than for a NRHP listing, as it does not require any action by the State Review Board or regulated commenting periods.

In 1981, Astone & Associates conducted a survey of historic (50-years-old or older) buildings within downtown Pittsburg to assist the City and the local New York Landing Association in efforts to document a locally certified historic district as a means to encourage revitalization in the area through tax credits. The survey is attached as Appendix B and incorporated herein by reference. As part of the 1981 survey, Astone & Associates documented 39 buildings in the downtown area that comprised the New York Landing Historic District. The National Parks Service certified the District in 1982. As a certified historic district, the District automatically became listed on the California Register of Historical Resources (CRHR) when that register became effective in 1993.

Regardless of the driving mechanism for creating the New York Landing Historic District in 1981, the documentation at the time did not include a full

evaluation of the District or individual contributors per NRHP standards, which includes the application of the evaluation criteria established by the National Park Service in 1966. Efforts to document the New York Landing Historic District within the 1981 report did not include a comprehensive evaluation of the proposed District or individual properties within the proposed District. Instead, the report primarily consisted of a visual assessment of all buildings in the downtown area that were constructed prior to World War II. The visual analysis determined whether individual buildings were historic and if they retained enough integrity to be part of the District. The report also recorded potential contributors to the District through photography and notes and documented the basic research needed to determine the most general facts about the downtown area, to determine whether a justifiable district existed. This research included construction dates of the buildings, ownership information, and background data to draft a brief historic context. The purpose of the report was to determine constraints and opportunities for urban revitalization efforts of the day through the use of tax incentives. The result of the report was the formal certification of the New York Landing Historic District. Although it includes a general assessment of the historic integrity of the district, the report is limited in nature and does not include any in-depth analysis of changes to the buildings since their construction. Changes (where noted) were discussed in basic terms, in regards to how the overall building was altered. Character-defining features were also discussed in general terms. Finally, the report assessed the District's significance only as a cohesive unit. At that time, none of the contributing buildings were evaluated for possible individual significance as is commonly done when a district is evaluated for NRHP eligibility.

The 1981 report identified the New York Landing District as a group of buildings that reflected a specific time of historic development in the City of Pittsburg. The concentration of commercial structures portrayed the economic progress of the area from the turn of the century through circa 1930. Astone & Associates emphasized that the variety of downtown structures, in addition to the heritage of numerous decades, reflected a different sense of size and scale than found in present-day commercial construction. The cohesive architectural styling of the existing buildings also contributed to a strong sense of time and place.

The 1981 survey identified a total of 40 parcels comprising the District. Of these 40 parcels, 33 contained buildings and/or structures. The remaining seven were vacant parcels. Twenty-six of the 33 parcels were listed as contributors to the District and seven were non-contributors (Table 1).

Table 1. New York Landing Historic District

Building Number	Address*	Building Name	Year Built	Assessors Parcel Number	Contributor
Block A					
1	200 E. Third Street	Liberty Hotel	c. 1925	085-091-015	Yes
2	Vacant				No
3	Vacant				No
4	201 E. Fourth Street	Woolworth Building (Not Extant—Parking Lot)	c. 1929	085-091-012	Yes
Block B					
5	315–319 Railroad Avenue, 110–120 E. Third Street (301 Railroad Avenue)	National Block, National Hotel	c. 1922	085-108-001	Yes
6	329 Railroad Avenue (323 Railroad Avenue)	National Dollar Store	c. 1924	085-108-015	Yes
7	Noncontributor				No
8	371 Railroad Avenue	California Theater	1920	085-108-004	Yes
9	395 Railroad Avenue	Sol's Clothing Store, La Marina Restaurant	c. 1920	085-108-005	Yes
10	158-156 E. Third Street (150 E. Third Street)	Greenberg Building	1925	085-108-011	Yes
11	190 E. Third Street	Green Building	1925	085-108-010	Yes
12	340 Cumberland Street (348 Cumberland Street)	Last Chance Building, T. J. Jenkins	1926	085-108-009	Yes
13	Vacant				
14	153 E. Fourth Street	King Parker Building	1929	085-108-006	Yes
15	163-165 E. Fourth Street, 380 Cumberland Street (163 E. Fourth Street)	King Parker Building, Montgomery Ward Building	1929	085-108-007	Yes
Block C					
16	415 Railroad Avenue	Contra Costa County Bank, Wells Fargo Bank	1921	085-109-001	Yes
17	124 E. Fourth Street	Wisemans (Not Extant—Courtyard)	1920	085-109-002	Yes
18	Noncontributor				No
19	Noncontributor				No
20	Noncontributor	Vacant Building			No
21	190 E. Fourth Street	Aiello Building	1923	085-109-006	Yes
22	485 Railroad Avenue, 105 E. Fifth Street (485 Railroad Avenue)	Medico-Dental Building, Woulf & Fry	1926	085-109-008	Yes

Building Number	Address*	Building Name	Year Built	Assessors Parcel Number	Contributor
22a	Vacant				No
Block D					
23	411-413 Cumberland	Vieira Building site; residential subdivision	1928	085-092-001	Yes
Block E					
24	501-509 Railroad Avenue	Post Office Building, Old Post Office	c. 1930	085-167-001	Yes
25	515 Railroad Avenue	Pittsburg Post Dispatch	1924	085-167-007	Yes
Block F					
26	Vacant				No
27	306-318 Railroad Avenue	Martinetti Building, Yummy Yogurt	1914	085-105-016	Yes
28	320 Railroad Avenue (324 and 320 Railroad Avenue)	Lazio Building, New Mecca	1914	085-105-009	Yes
29	Vacant	Courtyard			No
30	330 Railroad Avenue	Royce Building	1914	085-105-011	Yes
31	360 Railroad Avenue	Demetrakopulos Building	1914	085-105-012	Yes
32	Vacant				No
Block G					
33	10 E. Fourth Street	Burlessas Building	1922	085-104-009	Yes
34	360 Railroad Avenue (430 Railroad Avenue)	Bank of America Building	1921	085-104-006	Yes
35	Noncontributor				No
36	Noncontributor				No
37	Noncontributor				No
Block H					
38	510 Black Diamond or 515 Marina	Lepori Building, Ken's Furniture	c. 1924	085-161-007	Yes
Block I					
39	2-4 E. Fifth Street	Scampini Building	1925	085-166-009	Yes

Note:

* Those in parentheses are former addresses.

Regulatory Setting

State Regulations

CEQA and Cultural Resources

CEQA requires that public or private projects financed or approved by public agencies must assess the effect of the project on historical resources. CEQA Guidelines Section 15064.5 defines Historical Resources as buildings, sites, structures, objects or districts, each of which may have historical, architectural, archaeological, cultural, or scientific significance.

CEQA requires that if a project results in an effect that may cause a substantial adverse change in the significance of an historical resource, alternative plans or mitigation measures must be considered; however, only significant historical resources need to be addressed. Therefore, before effects are assessed or mitigation measures are developed, the significance of cultural resources must be determined. The following steps are normally taken in a cultural resources investigation for CEQA compliance.

- Identify potential historical resources.
- Evaluate the eligibility of historical resources.
- Evaluate the effects of a project on all eligible historical resources.

CEQA requires lead agencies to use specific criteria in evaluating the significance of historical resources potentially affected by a proposed project. The criteria required under CEQA are the same as the CRHR significance criteria discussed in the following section.

Significance Criteria

California Register of Historical Resources

State CEQA Guidelines Section 15064.5 defines three ways a property can qualify as a significant historical resource for the purposes of CEQA review:

- if the resource is listed in or determined eligible for listing in the CRHR;
- if the resource is included in a local register of historical resources, as defined in Public Resources Code (PRC) Section 5020.1(k) or identified as significant in an historical resource survey meeting the requirements of PRC Section 5024.1(g) unless the preponderance of evidence demonstrates that it is not historically or culturally significant; or
- if the lead agency determines the resource to be significant as supported by substantial evidence in light of the whole record.

The CRHR was created by the state legislature in 1992 and is intended to serve as an authoritative listing of historical and archaeological resources in California. In addition, the eligibility criteria for the CRHR are intended to serve as the definitive criteria for assessing the significance of historical resources for the purposes of CEQA; in this way, a consistent set of criteria is applied to the evaluation process for all public agencies statewide.

The eligibility criteria for inclusion in the CRHR are referenced in CEQA guidelines Section 15064.5(a)(3) and established in PRC Sections 5020.1(k), 5024.1, and 5024.1(g). Under these criteria, a cultural resource may be eligible for inclusion in the CRHR if it:

1. is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. is associated with the lives of persons important in our past;
3. embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. has yielded, or may be likely to yield, information important in prehistory or history.

In addition, properties that are listed in or eligible for listing in the NRHP are considered eligible for listing in the CRHR (PRC Section 5024.1[d][1]). Generally, properties that are less than 50 years old are not considered eligible for listing in the CRHR. However, because the CRHR regulations do not specify guidance for determining significance of such properties, the guidance offered for NRHP evaluation is typically applied.

Local Regulations

Pittsburg General Plan Guidance for Cultural Resources

Pittsburg's general plan contains the following goal and policies regarding historic and cultural resources.

Goals: Historical And Cultural Resources

The goals regarding historical and cultural resources are as follows:

- encourage the preservation, protection, enhancement and use of structures that represent past eras, events and persons important in history;
- provide significant examples of architecture;
- embody unique and irreplaceable assets to the City and its neighborhoods;

- provide examples of the physical surroundings in which past generations lived; and
- encourage municipal and community awareness, appreciation, and support for Pittsburg's historic, cultural, and archeological resources.

Policies: Historical And Cultural Resources

Policies on historical and cultural resources focus on the preservation of varied architectural styles that reflect the cultural, industrial, social, economic, political, and architectural phases of the City's history. Policies include the following:

- expand the role of the City's Historical Resources Commission, currently responsible only for the New York Landing Historic District, to include all historical resources within the City;
- redefine the New York Landing Historical District to designate and preserve historical structures not currently located within the district boundaries;
- explore mechanisms to incorporate Pittsburg's industrial heritage in historic and cultural preservation;
- ensure the protection of known archeological resources in the city;
- halt construction immediately and conduct an archeological investigation to collect all valuable remnants, if archeological resources are found during groundbreaking for new urban development;
- develop an identification and preservation system for cultural resources; and
- ensure that the development process complies with the lead testing requirements established by regional authorities' Summary of Cultural Resources Investigation Results, during redevelopment and rehabilitation of older residential units.

Criteria for Determining Impacts under California Law

According to CEQA, a project with an effect that may cause a substantial adverse change in the significance of an historical resource may have a significant impact on the environment (State CEQA Guidelines Section 15064.5[b]). CEQA further states that a substantial adverse change in the significance of a resource means the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired. Actions that would materially impair the significance of a historic resource are any actions that would demolish or adversely alter those physical characteristics of a historical resource that convey its historical significance and qualify it for inclusion in the CRHR or in a local register or survey that meet the requirements of PRC Sections 5020.1(k) and 5024.1(g).

Impact Assessment Methods

This study uses two approaches, qualitative and quantitative, to assess the integrity of the New York Landing Historic District. The qualitative approach analyzes the District based on its integrity of location, design, materials, and association to its 1981 documentation. The quantitative approach assesses the integrity of the District based upon the percentage of remaining contributing buildings versus the original total number of contributing buildings. This method of analysis is commonly used in the field of cultural resources in part to determine the integrity of a historic district. The quantitative analysis presented in this report is based on the professional judgment of Jones & Stokes cultural resources staff, who combined have over 40 years of experience in the field.

To evaluate project impacts on cultural resources, activities were evaluated in terms of their potential to cause the District to be decertified or delisted from the NRHP. According to accepted standard practice in the field of cultural resources, historic districts may be in danger of decertification if approximately 75% of the contributing structures receive substantial alterations or are demolished. Decertification is also possible if the district no longer displays the historic characteristics that make it eligible. To evaluate project impacts on individually eligible resources, activities are evaluated in terms of their potential to adversely affect qualities that convey the significance of the property.

Environmental Setting

Methods for Assessment of Existing Conditions

In August and September 2006, Jones & Stokes conducted investigations of properties comprising the New York Landing Historic District. The field investigation included a field survey of the District and an individual assessment of the Scampini Building to assess the current condition of each resource. The cultural resources technical report for the Proposed Project is included as Appendix A of this SEIR which is incorporated herein by reference (Jones & Stokes 2007). The following sections summarize the technical report's discussion of methods of assessment.

Field Surveys

Archeological Survey

On September 5, 2006, Jones & Stokes conducted an archaeological reconnaissance of the Proposed Project area to identify the potential for resources to be located within the Proposed Project area. The survey area includes the maximum area of construction (ground disturbance) associated with the Proposed Project (Figure 2).

Architecture Survey

On August 10 and 18, 2006, Jones & Stokes architectural historians conducted a field survey of the Proposed Project area to assess the Scampini Building's current integrity and its significance as a contributor to the New York Landing District and its potential to be individually significant. As part of the field process, buildings within the District were visually inspected and photographed. In addition, the Scampini Building was recorded through written notes and photography.

Records Search

In September 2006, Jones & Stokes requested a records search of the Proposed Project area from the Northwest Information Center (NWIC) of the California Historical Resources Information System (CHRIS), located near Sonoma State University, Rohnert Park, California (NWIC File No. 06-245). The NWIC administers the State of California's official records of previously recorded cultural resources and cultural resource studies for a 16-county area that includes Contra Costa County. The record search request also included a 0.5-mile radius from the Proposed Project area. In addition to maps of previous cultural resource studies and recorded cultural resources, the NWIC consulted the following sources:

- Directory of Properties in the Historic Property Data File for Contra Costa County (Office of Historic Preservation 2006:1, 36–41), and
- California Inventory of Historic Resources (California Department of Parks and Recreation 1976).

The NWIC provided the record search results to Jones & Stokes on September 26, 2006. The record search indicated that no previously recorded cultural resources are located within the Proposed Project area, but a total of four resources are located within 0.5-mile of the Proposed Project area. All of the resources were historic in nature. No previously recorded prehistoric cultural resources are located within the Proposed Project area or within a 0.5-mile radius of the Proposed Project area, as indicated by the records search. The records search indicated that five cultural resources studies have been conducted within the Proposed Project area, only two of which were conducted within the last 10 years. For more details regarding the records search results, see Appendix A for the technical report.

In addition to reviewing the record search material, Jones & Stokes reviewed the NRHP, historic maps of the Proposed Project area, and pertinent ethnographic literature for the presence of cultural resources (General Land Office 1870; Kroeber 1976; U.S. Geological Survey 1908). These sources do not indicate the presence of cultural resources in the Proposed Project area.

Additional Research and Consultation

Jones & Stokes conducted research for the Proposed Project at the Contra Costa County Assessor's Office, the City of Pittsburg Building Department, the Pittsburg Public Library, the Pittsburg Historical Society and Museum, and the California State Library, Sacramento. Jones & Stokes conducted the research to identify important historic people, events, or architectural trends that might be associated with the project area and help determine whether the architectural resources have potential to be historically significant under CEQA.

As a courtesy, Jones & Stokes also contacted the Native American Heritage Commission (NAHC) in October 2006, as part of determining the presence or absence of cultural resources in the Proposed Project area. The NAHC responded with a contact list, which is contained in Appendix F. Upon receipt of the NAHC's list, Jones & Stokes sent letters and maps describing the Proposed Project and its location to Native American individuals included on the list. As of January 31, 2007, no responses have been received.

Physical Setting

Prehistoric Background

The Proposed Project area is located in what is considered the Delta sub-region of the Central Valley Region of California. Much of our current understanding of Central Valley Prehistory stems from work that was done in the Delta region in the 1930s by Sacramento Junior College (Moratto 2004).

Although the Central Valley area may have been inhabited by humans as early as 10,000 years ago, the evidence for early human use is likely buried by deep alluvial sediments that accumulated during the late Holocene epoch. The economy of this early period in human use of the area is generally thought to be based on the exploitation of large game. Although rare, archaeological remains of this early period have been identified in and around the Central Valley (Johnson 1967; Peak and Associates 1981; Treganza and Heizer 1953).

The taxonomic framework of the Central Valley has been described in terms of archaeological patterns (Moratto 2004). A pattern is a general mode of life characterized archaeologically by technology, particular artifacts, economic systems, trade, burial practices, and other aspects of culture. Fredrickson (1973) identified three general patterns of resource use for the time period between 2,500 B.C. and A.D. 1,500: the Windmill, Berkeley, and Augustine patterns.

The Windmill Pattern (2,500 B.C. to 1,000 B.C.) shows evidence of a mixed economy of game procurement and use of wild plant foods. The archaeological record contains numerous projectile points with a wide range of faunal remains, as well as ground stone indicating the use of plant resources. The Windmill Pattern was superseded by a more specialized adaptation labeled the Berkeley

Pattern (1,500 B.C. to A.D. 500). A reduction in the number of manos and metates and an increase in mortars and pestles indicate a greater dependence on acorns. Although gathered resources grew in importance during this period, the continued presence of projectile points and atlatls in the archaeological record indicates that hunting was still an important activity (Fredrickson 1973).

The Berkeley Pattern is superseded by the Augustine Pattern around A.D. 500. The Augustine Pattern reflects a change in subsistence and land use patterns to those of the ethnographically known people (Nisenan) of the historic era. This pattern exhibits a great elaboration of ceremonial and social organization, including the development of social stratification. Exchange became well developed, and an even more intensive emphasis was placed on acorn use, as is evidenced by the presence of shaped mortars and pestles and numerous hopper mortars in the archaeological record. (Moratto 2004).

Ethnographic Background

The project area is located in the historic territory of the Bay Miwok. The Bay Miwok occupied the eastern portions of what is now Contra Costa County, from Mt. Diablo northeast into the Sacramento-San Joaquin Delta. The Bay Miwok language is classified by anthropologists as part of the eastern division of the Miwokan language subfamily (Shipley 1978). The Bay Miwok distributed themselves into tribelet groups that consisted of a village or groups of villages that shared linguistic and/or kinship affinities. Theodoratus et al. (1980:78) estimate the average population of Bay Miwok tribelets at 300 persons. Settlements were located on permanent watercourses, intermittent streams (in drier areas), and on high ground when near the Delta (Theodoratus et al. 1980). The Bay Miwok probably followed a seasonal round to acquire necessary food and other materials. Resources available in the Delta and the surrounding marshlands included deer, pronghorn antelope, tule elk, rodents, waterfowl, freshwater mussels and clams, fish, and various insects (Levy 1978).

The Bay Miwok constructed several types of structures. Conical thatch structures covered with tule mats were commonly used as residences both along the Delta and in uplands such as the Montezuma Hills. The Bay Miwok constructed semisubterranean earth-covered lodges that served as winter homes. Other structures included acorn granaries, menstrual huts, sweatshouses, and assembly houses. Assembly houses comprised two types: a semi-subterranean earth lodge and a circular brush enclosure. The Bay Miwok made the former structure a ritual and social focal point. The brush enclosure, on the other hand, provided space for ceremonies (Levy 1978).

Miwok technology included bone, stone, antler, wood, and textile tools. Hunting was accomplished with the use of the bow and arrow, in addition to traps and snares. Basketry items included seed beaters, cradles, sifters, rackets used in ball games, and baskets for storage, winnowing, parching, and carrying burdens. Other textiles included mats and cordage. Tule balsas were constructed for navigation on rivers and in the Delta (Levy 1978).

The Eastern Miwok first came into contact with Europeans in the second half of the eighteenth century, when Spanish explorers entered the area. The Bay groups were the first of the Eastern Miwok to undergo conversion by Spanish missionaries (Heizer 1941). With the arrival of trappers, gold miners, and settlers to California, the Miwok suffered exposure to new varieties of introduced diseases they had previously not experienced. Although this early contact with settlers had a destructive impact on the Miwok population, relationships with settlers varied. While some hostilities occurred between the Sierra Miwok and miners, some of the Plains Miwok became involved in agricultural operations on the large land grants then coming into existence. After the United States annexed California, some of the Miwok were displaced to Central Valley locations, yet many remained on the rancherias established in the Sierra Nevada foothills. During the final decades of the nineteenth century and early years of the twentieth century, the Miwok living on the foothill rancherias adapted to a new lifestyle. Subsistence through hunting and gathering was now augmented by seasonal wage labor on ranches and farms. As the reliance upon a cash income increased, traditional subsistence practices suffered. Several persons of Miwok descent still survive and maintain strong communities and action-oriented organizations (Levy 1978).

Historic Background

The following historical overview is taken from the *New York Landing Historic District* document prepared by Astone & Associates (1981).

The earliest recorded history of Pittsburg starts in the year 1839, the time when the still-new nation in the East, which was then creeping westward, was seriously debating “the slavery question,” the prelude to a great civil war. That year the Mexican government granted almost 10 thousand acres to Jose Antone Mesa and Miguel Jose Garcia. Ten years later, they had mortgaged or sold most of the land and Pittsburg’s first real estate developer, Col. J. D. Stevenson, arrived from New York. He eventually owned or controlled much of Rancho Los Medanos. The first Post Office in Contra Costa County was established here in 1849.

With the discovery of gold in California, the little community became an overnight stopping place for miners on their way to the gold field and sail vessels enroute to inland towns with supplies. The town grew and its name was changed to New York Landing. In 1855, the discovery of coal in the hills three miles south of New York Landing brought many people to the new city. A railroad was laid from the mines to the river, along the route of what is now Railroad Avenue. The town was later renamed Black Diamond in honor of the new source of wealth. Coal mining rapidly became one of the most important industries in Contra Costa County. Four towns grew up around the mines: Somersville, Nortonville, Black Diamond, (formerly New York Landing), and to a great extent, Antioch.

By 1882, Black Diamond had become a canning center. Many Chinese were hired to help fashion the cans by hand with tin snips and soldering iron. In 1906,

Columbia Geneva Steel had its inception. By 1910, it was in operation, covering 20 acres and employing 60 persons. In 1930, Columbia Steel became a subsidiary of United States Steel. The impact of the steel mill brought about a change of name for the town. By popular vote on February 11, 1911, the name was changed from “Black Diamond” to Pittsburg, after the eastern birthplace of the steel industry, but dropping the “h” for simplified spelling.

Stockton Fire Brick Company erected a plant two miles west of Pittsburg in 1929-30. It was the largest fire clay refractories plant west of the Missouri River. In 1943, the name was changed to Gladding McBean Company and later to International Pipe and Ceramics Corp.

The first bank in Pittsburg was founded January 1, 1904. In 1924, the bank was taken over by Mercantile Trust Company and in 1927, merged with American Trust Company. In 1960, the name changed to Wells Fargo American Trust Company, following another merger. Pittsburg’s second bank was the First National, started in 1919 with capital of \$100 thousand. In 1927, the bank was taken over by the Bank of Italy, which in 1930 became the Bank of America.

District Background

The waterfront area around the turn of the 20th century was a rich combination of industrial/commercial facilities reflecting a dependence on the water for trade and transportation. Nearby, residential neighborhoods flourished in concert with the economic trade.

Retailing moved away from the waterfront area and became centered in the area of Third, Fourth, and Fifth Streets, with the center of the downtown area shifting from lower Black Diamond Street to Railroad Avenue. Used extensively as the railroad right-of-way as well as a public street, Railroad Avenue became the center of commerce, being the location of several banks as well as the center of retailing with department and specialty stores.

As was traditional with cities throughout the country, newer and more convenient commercial areas were developed, causing the older business centers to decline not only in the minds of the Pittsburg community but to physically deteriorate as well. In the 1960s and 70s, an active program of “redevelopment” of the waterfront was planned and implemented.

Remaining intact is the older business center comprised of 33 pre-1930 commercial structures. This concentration evolves into a continuing extension of several blocks of older commercial structures circa 1940 to 1950. The original street pattern has remained intact and has seen some attempts at urban beautification along Third Street and Railroad Avenue.

Summary of Known Archaeological and Architectural Resources

The following sections describe known archaeological and architectural resources in, or directly adjacent to, the Proposed Project area. Discussions of historical architectural resources incorporate the results of new survey work conducted for this SEIR. Figures 2 and 4 show the locations of the resources described below. The completed California Department of Parks and Recreation (DPR) forms for these resources are included in Appendix A.

Archaeological Resources

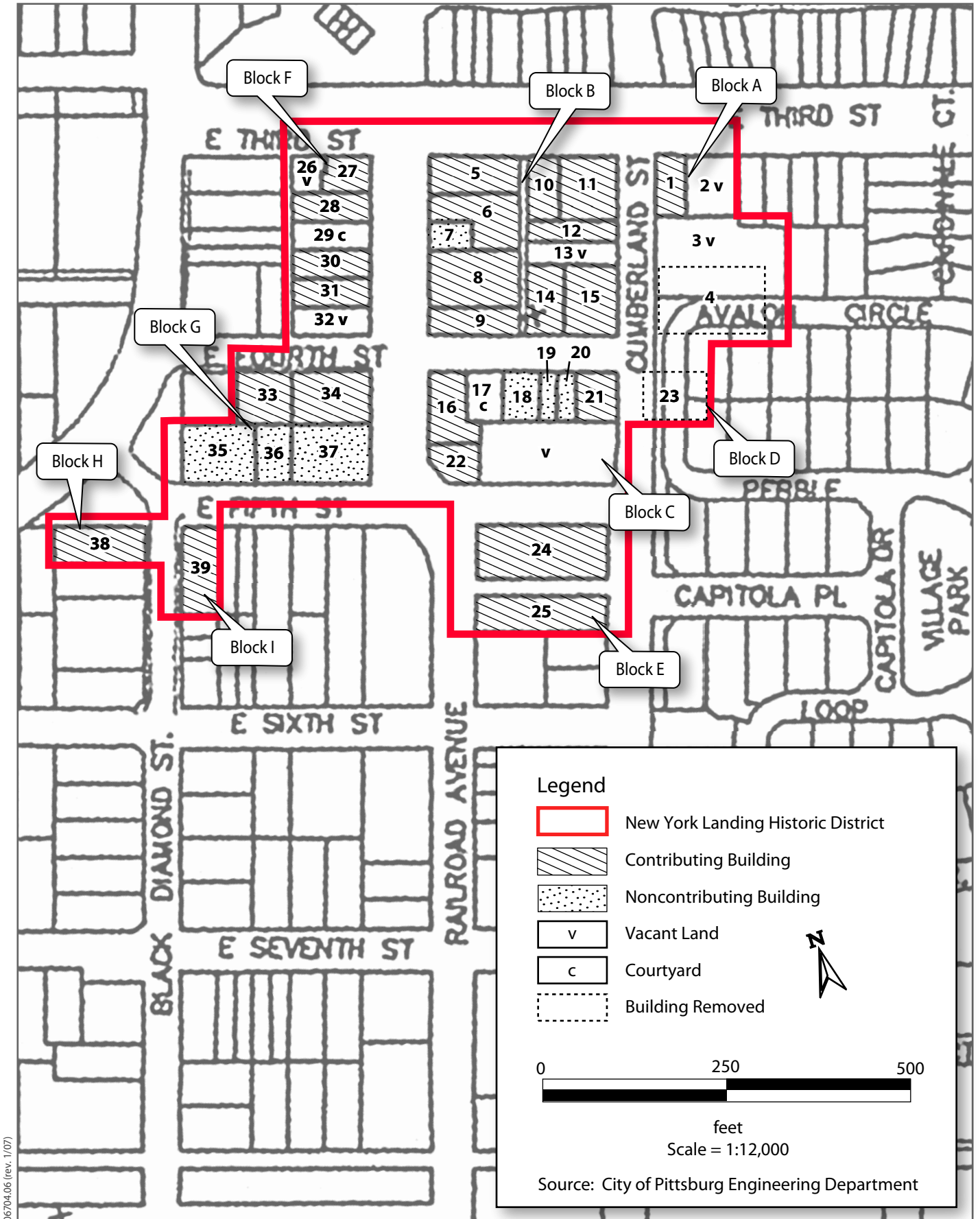
The archaeological literature and records search conducted for the Proposed Project indicates that the Proposed Project area is not sensitive for intact prehistoric archaeological resources and historical resources, because there has been a significant amount of post-1900 construction and subsequent disturbance. It is likely that post-1900 and modern construction in the downtown area has had severe impacts on the condition and integrity of earlier archaeological deposits.

Potential for Buried Prehistoric Archaeological Remains

No previously unidentified prehistoric archaeological resources were discovered as a result of the pedestrian survey. No previously recorded prehistoric cultural resources are located within the Proposed Project area or within a 0.5-mile radius of the Proposed Project area, as indicated by the records search. Due to the Proposed Project's location in the Delta and its proximity to a water source, some potential exists for the discovery of previously undiscovered prehistoric archaeological remains during construction activities. Nevertheless, the likelihood of finding such subsurface archaeological remains intact is very low, based on the documented level of disturbance to the area.

Potential for Buried Historical Archaeological Remains

No previously unidentified historic archaeological resources were discovered as a result of the pedestrian survey. Extensive historic map and archival research has revealed that nineteenth century American Period resources may have once been located within the Proposed Project area. The 1907 Sanborn Fire Insurance map depicts several residences and industrial complexes in the Proposed Project area. No earlier maps have been identified; however, the downtown area was established by 1850. Based on the 1907, 1917, 1927, and 1940 Sanborn Fire Insurance Maps, the Proposed Project area appears to be located within a portion of downtown that has been severely disturbed by development over the last 75 years, which has likely disturbed the integrity of archaeological deposits that may



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Figure 4
New York Landing Historic District

have been located within the Proposed Project area. The construction of a gas station, telephone company offices, the Pittsburg Soda Works, and a battery service station prior to 1927 likely disturbed earlier historic archaeological features.

Based on the historic map research and the documented level of disturbance to the area, the Proposed Project site has a low potential for containing significant intact subsurface historical archaeological features and deposits.

Architectural Resources

New York Landing Historic District

Description

The 2005 EIR focused on the Scampini Building; it did not address the New York Landing Historic District as a cultural resource. Based on the above history and for the purposes of this SEIR, the District is considered a cultural resource and is further assessed below.

The New York Landing Historic District encompasses all or a portion of nine blocks in downtown Pittsburg. For this document, the blocks within the District are identified as Blocks A-I (Figure 4). The 1981 study originally defined the boundaries of the District by groups of compatible buildings or vacant lots. The District is bounded by E. Third Street to the north and Cumberland Street to the east, taking in parcels on the northeast corner of E. Third Street and Cumberland and the southeast corner of E. Fourth Street and Cumberland. The boundary continues south along Cumberland Street and veers west along E. Fifth Street, taking in the two northern parcels on Block I. It continues westward until it meets Black Diamond Street, taking in the southeastern and southwestern parcels on Black Diamond Street and E. Fifth Streets. The boundary travels north on Black Diamond Street and veers east at E. Fourth Street, excluding the parcel on the southeastern corner of Black Diamond Street and E. Fourth Street, but taking in the two additional parcels to the east of the parcel. It continues northward, behind the parcels fronting Railroad Avenue, until it meets E. Third Street.

Generally, the blocks within the District contain small mid-rise commercial buildings and some office buildings dating to the early twentieth century, as well as a handful of vacant lots and surface parking lots. The streets within the District are on a regular grid with few alleys and the terrain is flat. Buildings overall have shallow setbacks and no landscaping, though planted trees line the majority of streets. The buildings feature nearly exclusive use of brick masonry (both reinforced and unreinforced), concrete, and some stucco and wood. They reflect commercial architectural styles popular during the early part of the century, such as Beaux Arts, Art Moderne, Italianate, Romanesque, and some simple Victorian Eclectic elements. Some buildings, including approximately 35% of contributors to the District, are vacant and boarded up. Over 50% of the contributors are single-story structures.

Assessment

The District generally represents a commercial area of Pittsburg from approximately 1914 to 1930, the period of major economic growth associated with the development of the steel industry in the area. The District is notable for its collection of commercial buildings dating from the early twentieth century; it reflects the state of architectural development, especially in smaller commercial development throughout California and the United States, at the beginning of the twentieth century. In particular, the District depicts changes and continuities in commercial architecture and development from the mid teens to the late 1920s, just prior to the Great Depression, when commercial construction in Pittsburg and throughout much of the nation was thriving. Both the Depression of the 1930s and World War II greatly altered the social fabric of the country, which was also reflected in the simpler and more practical architectural styling of that period. The earlier pre-Depression era represented the last time when many small towns and cities showed community pride by designing prominent and stately buildings (such as the California Theater Building and the Bank of America Building within the District) alongside more subtle buildings that displayed similar stylistic yet restrained architectural elements.

Based on a visual assessment, overall changes to contributors within the District, compared with the 1981 evaluation, appear to be minimal to moderate. Modifications are largely in the form of window or door replacements, in addition to the repainting of exterior walls and new signage. An exception can be noted at 395 Railroad Avenue (Building No. 9 [Table 1]), which features the addition of garage bays and new fenestration along its southern elevation. A handful of contributors, notably the National Hotel Building (Building No. 5), the California Theater (Building No. 8), and 340 Cumberland Street (Building No. 12, also known as the Last Chance Building), have been refurbished since the 1981 documentation through the repainting of the façades as well as the installation of windows and/or doors that are sympathetic to the historic fabric and design of the buildings. Although modifications to the contributors are generally minor, extensive redevelopment in the form of residential construction, beautification projects, and parking lots have occurred in close proximity to the District, and also have involved the demolition of former contributors. Despite these changes and the loss of three contributors, including a key building (the Vieira Building), the District retains a good level of integrity when compared to the 1981 documentation.

The 1981 inventory identified a total of 33 buildings within the District, of which 26 (or 78%) were contributors. In addition, seven vacant parcels comprising approximately 18% of the District were recorded. Currently, 23 of the 26 original contributors and nine vacant parcels remain within the District. Two of the former vacant parcels (located on E. Fourth Street and Railroad Avenue) have been turned into courtyards. Since 1981, a total of four buildings (three contributors and one non-contributor) have been demolished. As the large majority (88%) of the original contributors are extant, the District remains intact.

Jones & Stokes concludes that, overall, the District retains its integrity and is intact. However, due to the passage of time since the original documentation, the

integrity of individual contributors may now be compromised, due to deterioration and/or alterations made to those buildings over the years.

Scampini Building

Description

The Scampini Building (Photograph 1) is located at 2-4 Black Diamond Street, at the corner of Black Diamond Street and E. Fifth Street. It sits on the outer southwestern edge of the District and forms a visual bridge to the nearby Lepori Building (also a contributor to the District). Three non-contributing buildings are directly across the street from the Scampini Building and two vacant parcels are immediately east of the building.

The Scampini Building is a 5,500 square foot, one-story rectangular building with a flat roof. It consists of unreinforced masonry and is supported by a concrete slab foundation. The façade features rectangular storefront windows with replacement metal frames. Metal-framed glass swing doors with steel transoms access two separate recessed entryways. A sign above the doors reads, “Chapel Churches Incorporated: Temple of Prayer Apostolic Church: Elder Basil A. Price, Pastor.” The building’s west elevation (Photograph 2) includes a series of original 1/1 double hung window units with decorative brick arches, as well as some large metal-framed replacement windows and wood personnel doors. The south and east elevations (Photographs 3 and 4) are solid brick with no window or door openings, as these walls historically faced up against other buildings. A string course of decorative brickwork is located on the upper portion of the building’s north and west walls. Trees and street lamps front the building along Black Diamond and E. Fifth streets.

Evaluation

The Scampini Building was constructed in 1925 and was originally owned by the Scampini family. By 1929, a bowling alley occupied the building. During the 1930s, the California Department of Employment occupied this address and remained there until the late 1940s, when the Pacific Telephone and Telegraph Company leased the building. Additional tenants have included a men’s retail shop, a retail shoe dealer, and a thrift shop. A religious organization last occupied the building, but recently vacated it. The Scampini family was associated with the property as late as 1979. Currently, the City of Pittsburg Redevelopment Agency owns the building (Contra Costa County Telephone Directory 1929, 1939; Polk’s Pittsburg and Antioch City Directory 1949, 1957, 1966, 1978; Contra Costa County Assessor 2006).

The property does not meet the criteria for listing in the CRHR as an individual resource. The building was built in the early twentieth century, when the commercial district of Pittsburg was thriving and boosting the economic standing of the community. Individually, however, the building has not made a significant

contribution to the history of Pittsburg, or to the region or state overall, and therefore does not appear to meet CRHR Criterion 1. The property has been associated with several owners and occupants over time, but none, including the Scampini family, are known to be significant to area history; therefore, the property does not qualify under Criterion 2. Under Criterion 3, the modest commercial structure does not qualify as significant or unique in the distinctive characteristics of a type, period, or method of construction. Even with the decorative brickwork, it is a relatively plain, functional commercial building of its period which does not exhibit any unique or outstanding decorative elements, as found on other buildings within the District. Furthermore, the replacement of some of the original windows and the main doors with modern units changed the historic appearance of the building. In summary, because the property lacks historical and architectural significance as well as integrity, it does not meet CRHR criteria as an individual historic resource for the purposes of CEQA. The Scampini Building does add to the cohesiveness of the District, however, in that the building forms a visual bridge to the nearby Lepori Building and retains integrity as a contributor to the District.

Impact Assessment and Mitigation Measures

This section presents updated information and current eligibility status for all resources in the Proposed Project area, including those addressed in the 2005 EIR. This analysis focuses on the Proposed Project's potential to affect resources not addressed in the 2005 EIR and resources for which new information has the potential to change conclusions reached in the 2005 document.

In light of the fact that the Scampini Building is listed as a contributor to the District, Jones & Stokes evaluated the potential for the Proposed Project to result in impacts on the District as a whole as well as in impacts on the Scampini Building as an individual resource.

Impacts of Proposed Project

Archaeology

Impact CULT-1: Potential for Ground-Disturbing Activities to Damage Previously Unidentified Buried Cultural Resource Sites (Less than Significant with Mitigation Incorporated)

Although no archaeological resources were identified as a result of the inventory, and the potential for discovering intact subsurface archaeological remains low, there is a possibility that buried archaeological resources would be inadvertently unearthed during construction. The fact that prehistoric sites are commonly found near water sources increases the potential for unearthing buried cultural



Photograph 1. Scampini Building NW Elevation



Photograph 2. Scampini Building, West Elevation

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Photograph 3. Scampini Building, East Elevation



Photograph 4. Scampini Building, South Elevation

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resources during ground-disturbing activities. Because such activities could result in destruction of or substantial damage to significant cultural resources, this impact is considered potentially significant. **Implementation of Mitigation Measure CULT-1 would reduce this impact to a less-than-significant level.**

Mitigation Measure CULT-1: Stop Work if Cultural Resources Are Discovered during Ground-Disturbing Activities

If buried cultural resources, such as chipped or ground stone, historic debris, building foundations, or nonhuman bone, are inadvertently discovered during ground-disturbing activities, work will stop in that area and within 100 feet of the find until a qualified archaeologist can assess the significance of the find and, if the find is determined to be significant, develop appropriate treatment measures in consultation with the City of Pittsburg and other appropriate agencies.

Treatment measures may include, but are not limited to:

- development of avoidance or protection measures;
- archaeological excavation;
- interpretation; and
- detailed documentation.

If cultural resources are discovered during construction activities, the construction contractor and lead contractor compliance inspector will verify that work is halted until appropriate treatment measures are implemented. The project proponent will obtain concurrence from the applicable federal and/or City agency on any measures to be implemented before resuming construction activities in the area of the find.

Impact CULT-2: Potential to Damage Previously Unidentified Human Remains (Less than Significant with Mitigation Incorporated)

Buried human remains that were not identified during field surveys could be inadvertently unearthed during construction activities, which could result in damage to these human remains. Human remains require special treatment under state laws, and disturbance of such remains would be a significant impact under CEQA. **With implementation of Mitigation Measure CULT-2, this impact is less than significant.**

Mitigation Measure CULT-2: Comply with State Laws Pertaining to the Discovery of Human Remains

If human remains of Native American origin are discovered during ground-disturbing activities, the City of Pittsburg will comply with state laws relating to the disposition of Native American burials, which fall within the jurisdiction of the NAHC (PRC 5097). Thus, if any human remains are discovered or recognized in any location other than a dedicated cemetery, the city will stop ground disturbing activities and will not authorize further excavation or

disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until:

- The coroner of Contra Costa County has been informed and has determined that no investigation of the cause of death is required; and
- If the remains are of Native American origin,
 - The Native American Heritage Commission (NAHC) is contacted immediately to request a list of the most likely descendants;
 - the descendants from the deceased Native Americans have made a recommendation to the landowner or the person responsible for the excavation work for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in PRC 5097.98; or
 - the NAHC is unable to identify a descendant or the descendant fails to make a recommendation within 24 hours after being notified by the NAHC.

According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If the remains are determined to be Native American, the coroner must contact the NAHC.

Architecture

The District is eligible for listing in the NRHP and the CRHR and is a local certified district; therefore, for State CEQA purposes, the District itself is a cultural resource. The Scampini Building is a contributor to the District; however, the building does not meet the criteria for NRHP or CRHR eligibility as an individual resource. The Proposed Project would involve the demolition of the Scampini Building, a contributor to the New York Landing Historic District. The Proposed Project would demolish no other contributors within the District.

Impact CULT-3: Potential to Damage the Integrity of the New York Landing Historic District (Less than Significant)

The impact on the District of removing the Scampini Building has been considered because the Proposed Project would result in a loss of a contributor to the District. Construction for the Proposed Project would occur directly adjacent to and within a portion of the District on Block I. The Scampini Building, a contributor to the District, is located on the northwestern corner of Block 1; the remaining portion of the block is largely vacant. To determine the impact of the

Proposed Project on the District, the integrity of the District was first assessed both in qualitative and quantitative terms.

Qualitative Assessment of Integrity

In general, the District retains a good degree of integrity of location, design, materials, and association to its 1981 documentation. An important value of the District is that it is visually understandable as a historic urban-commercial center: the cluster of buildings, with their distinctive architectural styles and their scale, stands in contrast to other areas of Pittsburg that contain newer commercial and/or residential style buildings. The District is able to convey a sense of time and place; the street scenes largely evoke a sense of urban life in a small city in the early twentieth century.

Much of the historic character in the vicinity of the District, however, has been lost over the past few years through ongoing development and construction of modern single-family residences, surface parking lots, and beautification projects. Some of this construction has involved the demolition of contributing properties. In addition, several buildings on Block I and directly adjacent to the Scampini Building were demolished (and not replaced) within the last 20 years, leaving a nearly vacant block. While these buildings were not contributors to the District, they lent to the overall historic feel and visual continuity of the area. In essence, these non-contributing buildings at a minimum provided a visual link between isolated contributors (including the Scampini Building) and the larger historic district. The Proposed Project would occur within these now-vacant parcels on the outer edge of the District.

A building, as a contributor to a District, ideally should retain enough physical characteristics or features (also known as integrity) to communicate its significance. The Secretary of the Interior defines the seven aspects of integrity as location, design, setting, materials, workmanship, feeling, and association (USDI National Park Service 1997). Located on a corner lot and immediately surrounded by vacant parcels and non-contributing buildings, the Scampini Building is visually isolated from the remainder of the District (Figure 4). The only arguable visual connector to the larger district is the Lepori Building, which is situated across the street to the west. As such, the Scampini Building does not convey a strong sense of setting, feeling, and association to the District. Furthermore, the building has lost its integrity of design and workmanship (through alterations) over time. Initially lacking many of the well-defined design attributes, such as those evident on the other contributors, the alterations conducted over the years have reduced the Scampini Building to a much simpler, early twentieth century building without distinction. By comparison, several other contributors within the District, identified as key buildings in the 1981 study, including the Liberty Hotel (Building No. 1), the National Hotel Building (Building No. 5), and the California Theater (Building No. 8) retain excellent integrity of design, materials, and workmanship. These examples also convey a strong sense of location, setting, and association as early twentieth century commercial buildings, in addition to helping form a definitive and cohesive neighborhood area. Thus, these buildings represent stronger contributors to the District than the Scampini Building, and as a group convey the District's

historical significance more cohesively than isolated buildings not retaining integrity.

Whereas the integrity of the surrounding neighborhood has already been compromised through new development, and because construction will occur on the outer edge of the District, the District would still convey its historical significance (including a sense of time and place) despite the loss of the Scampini Building. Based on the above analysis, removal of the Scampini Building would have a **less-than-significant impact** on the integrity of the District.

Similarly, construction of the Proposed Project would not have a significant effect on the District. Most of the Project is located adjacent to, but outside the District. Unlike new development in other areas of the city, the Project includes a number of site planning and design features that complement the District. The site plan proposes urban and mixed uses, with residential uses above commercial uses along Railroad Avenue. This plan maintains the traditional commercial integrity of Railroad Avenue. The architectural styles of the buildings replicate the flat roof commonly found throughout the District. Commercial uses are at ground floor, with storefronts and flat stucco finishes reminiscent of materials in the District's traditional and historic buildings. Furthermore, the Project would incorporate the existing streetlights located throughout Old Town Pittsburg into the development. With the mix of uses, including ground-floor commercial uses, and incorporation of traditional architectural styles and materials, the Project aspires to create an energized street scene of urban life in a small city. These features complement and do not detract from the integrity of the District. Based on the above analysis, construction of the Project would have a **less-than-significant impact** on the District.

Quantitative Assessment of Integrity

If the number of contributing buildings substantially altered or demolished within the District reaches approximately 75% of the total number of contributors (or, in this instance, approximately nine contributors out of the original 26), it is possible that the District may not retain significant integrity for listing. The loss of the Scampini Building, however, would not result in a significant impact because the District would still retain 85% of the original contributors, as identified by Astone & Associates in 1981. This is well above the generally accepted contributing threshold of 75% necessary to convey significance. Therefore, the District would remain viable. The Proposed Project would **not significantly impact** the District.

As mentioned earlier, the District lost contributors through previous projects. The loss of the Scampini Building, however, would not constitute a cumulative impact to the District, as the Scampini Building is a modest representation of early twentieth century commercial architecture, and has lost integrity since its original 1981 documentation. No mitigation measure is necessary.

Impact CULT-4: Potential to Damage the Integrity of the Scampini Building as an Individual Resource (Less than Significant)

As discussed above, the Scampini Building (2-4 Black Diamond Avenue) does not meet the criteria for listing in the NRHR or the CRHR as an individual resource. Therefore, removal of this building would **not have not a significant impact** and would result in no substantial adverse change under CEQA. No mitigation measure is necessary.

Alternatives Analyzed

The 2005 EIR identified loss of the Scampini Building as a significant, unavoidable impact of the Proposed Project, and examined a reasonable range of potentially feasible alternatives, including the No-Project Alternative. In its 2005 findings, the City determined that none of those alternatives is feasible.

In accordance with a settlement agreement related to the project approvals, the City has analyzed a project alternative of retaining the Scampini Building. Based on new information developed in connection with this SEIR, the City has determined that the Proposed Project would not have a significant effect on the District, and that loss of the Scampini Building would not have a significant impact. Under these circumstances, an EIR would normally not be required, and alternatives would not be considered. However, the City agreed to prepare the EIR and to analyze an alternative to retain the Scampini Building. The following discussion provides the required analysis.

CEQA requires that alternatives selected for analysis must be feasible, meet most of the project objectives, substantially reduce one or more of the project impacts, and examine alternatives to a project for purposes of comparison. As an alternative to demolition of the Scampini Building, this SEIR analyzes the Retain the Scampini Building Alternative, which includes Alternative A, Retain the Scampini Building as a Stand-alone Project, as well as Alternative B, Incorporate the Scampini Building into the Proposed Project. The City also considered but rejected an alternative of moving the Scampini Building to a new location, as further discussed below.

Retain the Scampini Building Alternative

To explore the possibility of retaining the Scampini Building as part of the Project, the City retained three firms to provide background information on related construction and costs. In June of 2006, Biggs Cardosa Associates, Inc. (BCA), a structural engineering firm, and RGK Construction Services, Inc. (RGK), a full service construction company which offers cost estimating services, visited the Scampini Building. In November of 2006, Keyser Marston

Associates (KMA), a real estate advisory firm, prepared a financial analysis for and assessed the economic impacts of the Retain Scampini Building Alternative.

BCA conducted a structural investigation of the Scampini Building and provided recommendations for seismic retrofit required to bring the building into compliance with the Unreinforced Masonry (URM) Ordinance, as adopted by the City of Pittsburg Municipal Code. The analysis for lateral loading was done in accordance with the 1997 Uniform Code for Building Conservation (UCBC), which meets minimum life-safety requirements and satisfies the City of Pittsburg URM Ordinance. Within the UCBC, there are two methods for analysis of unreinforced masonry buildings: General and Special Procedure. The Special Procedure provides different ways to analyze a building and often results in a more cost effective design. A building's layout (i.e. number of stories, configuration, number of brick walls, etc.) is a factor in determining whether the General or Special Procedure is the best method for analysis (personal communication with Mark Cardosa, Vice President of BCA, January 31, 2007). Based on the Scampini Building's layout, BCA analyzed the building using the Special Procedure. The BCA report is attached as Appendix C, and incorporated herein by reference.

RGK inspected the Scampini Building and assessed the building from a life-safety perspective in terms of recommending minimal improvements needed to allow safe occupancy of the building. The assessment was done without an end user in mind and the recommendations are based on the California Historic Building Code. Because BCA was responsible for assessing the cost of seismic upgrades, RGK's assessment is not inclusive of that task. Rather, RGK and BCA collaborated to ensure that the respective recommendations included in the reports are not redundant and that the attendant cost estimates included in the reports reflect the firms' particular recommendations only. The RGK report is attached as Appendix D, and incorporated herein by reference.

KMA prepared a financial feasibility analysis of two retention scenarios; Alternative A, Retain the Scampini Building as a Stand Alone Project, and Alternative B, Incorporate the Scampini Building into the Project. Further, KMA evaluated the financial impacts of retaining the Scampini Building, under both retention scenarios, on both the financial feasibility of Building A and on the entire three-block Proposed Project. Building A is in the most northern block of the Proposed Project and the block that includes the Scampini Building.

KMA subcontracted with Architectural Resources Group (ARG), an architectural, planning, and conservation firm to assess costs and recommendations associated with the two retention scenarios. ARG determined that several recommendations provided in RGK's report did not include the most sensitive approach to preserving the character defining features of the Scampini Building, nor were the recommendations in the best interest of marketing the Scampini Building as future commercial space. ARG recommended a renovation approach that preserves the Scampini Building and highlights its contribution to the District, while providing elements that make the Scampini Building more marketable. ARG's approach was different from several of RGK's recommendations and provided new recommendations and cost estimates for the

recommended work. Where necessary, KMA replaced the cost estimate provided by RGK with estimates provided by ARG because ARG's approach is more architecturally sensitive and consistent with the Secretary of the Interior's Standards for Rehabilitation. The KMA report is attached as Appendix E, and incorporated herein by reference.

Combined, these four firms have over 100 years of experience assessing buildings. The general findings of BCA, RGK, KMA, and ARG's assessments are included in the discussion of Alternatives A and B below.

A. Retain Scampini Building as a Stand Alone Project

This alternative requires that the northwest corner of the Proposed Project be redesigned to allow the Scampini Building to remain in place. In order to accommodate the retention of the Scampini Building under this alternative, the Proposed Project would be redesigned to allow for a ten foot setback between the Scampini Building and the project. Redesign of the Proposed Project at this location would affect portions of the podium parking garage and the perimeter town homes. Residential units would be eliminated and the parking garage would be reduced (Figure 5).

Under this alternative, the Scampini Building would be rehabilitated pursuant to the 2001 California Historic Building Code, the UCBC, and consistent with the Secretary of the Interior's Standards for Rehabilitation. Given the fact that the Scampini Building is not located on Railroad Avenue, the City's main retail street where significant vacancy currently exists, it is unlikely that the Scampini Building could support retail uses. Therefore, the types of tenants likely to be targeted would primarily be local professionals, designer lofts, and/ or service uses (Appendix E, page 5, "Projected Commercial Value"). The Scampini Building consists of approximately 5,200 square feet and under this alternative would continue to be owned by the Agency.

The Proposed Project, as currently designed, includes three city blocks and calls for a total of 195 residential units with one building per block. Building A is in the most northern block, which includes the Scampini Building, and consists of 66 residential units with 9,736 square feet of commercial space along Railroad Avenue. Building A includes thirty-one 2-Bedroom town homes, thirteen 3-Bedroom town homes, three 1-Bedroom flats, eleven 2-Bedroom flats, and eight 1-Bedroom lofts. This alternative would result in the loss of seven 2-Bedroom town homes, two 3-Bedroom town homes, and two 2-Bedroom flats for a total of eleven units. There is a net loss of eleven residential units, which results in a loss of approximately 15,733 square feet of residential space and several larger two- and three-bedroom town homes that could accommodate families. This alternative provides for a total of 55 residential units for Building A (Table 2).

The costs, projected value, and anticipated profit margin associated with retaining the Scampini Building under this alternative are summarized as follows:

1. **Cost of rehabilitation and preservation.** The Scampini Building is built of unreinforced masonry and it is structurally deficient. It would need to be seismically strengthened pursuant to the California Historic Building Code and the UCBC requirements in order to avoid a threat of collapse.

According to the Secretary of the Interior's Standards for Rehabilitation, when treating a historic building, the preservation of the historic materials and the preservation of the building's character must be addressed. Character (or character-defining features) refers to visual aspects and physical features of a building that contribute to its overall appearance (USDI National Park Service 1988). ARG recommends that if the Scampini Building is partially or wholly retained, the following renovation work should be completed to preserve the character-defining features of the building. These recommendations are consistent with the Secretary of the Interior's Standards for Rehabilitation and the California Historic Building Code. The costs for this work are estimated below by ARG (Appendix E).

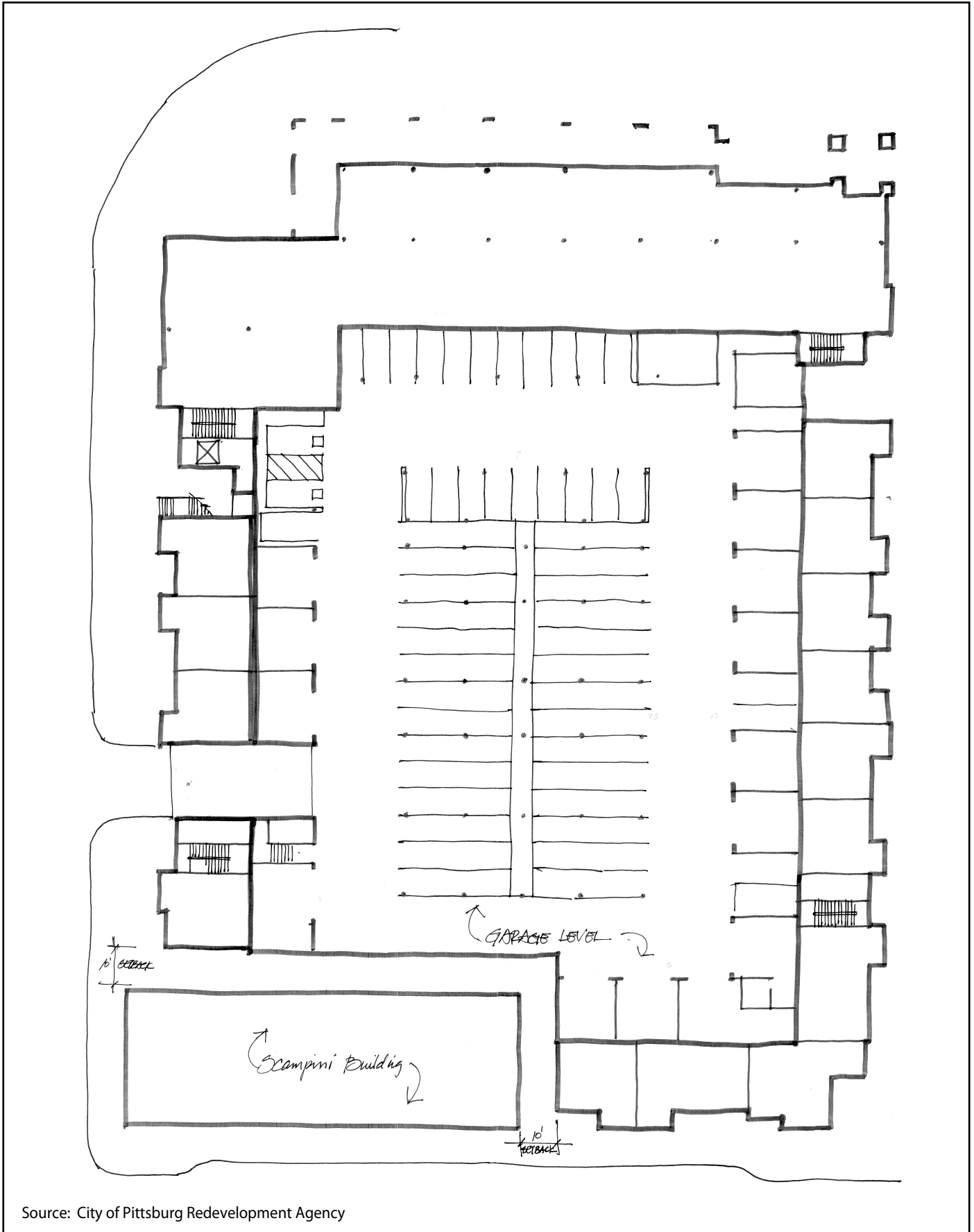
- Rehabilitate the building storefront; cost approximately \$24,000.
- Refurbish existing wood windows on the west elevation; cost approximately \$8,000.
- Refurbish existing doors; cost approximately \$5,000.
- Rehabilitate perimeter brick walls (through metal stud furring and R-11 insulation); cost approximately \$6,000.
- Upgrade ceiling cavity (by providing R-30 insulation); cost ranging from approximately \$3,700 to \$5,200.
- Refurbish historic pressed tin ceilings; cost approximately \$20,000.

Costs incurred to retain the Scampini Building under this alternative would be approximately \$1.2 Million (M) (approximately \$232 per square foot). (Appendix E, Summary Table A).

2. **Projected commercial value.** Project value is estimated based on the potential rent achievable and capitalized. Commercial rent assumptions were based on research conducted by KMA and generally concluded that the Scampini Building could support \$1 per square foot per month after rehabilitation. Based on capitalization of projected stabilized rent, the projected value upon sale of the Scampini Building is approximately \$700,000 (Appendix E, Summary Table B).

3. **Negative profit margin.** The development cost associated with rehabilitation of the Scampini Building, based on KMA's analysis, is approximately \$1.2 M while the projected value of the Scampini Building after rehabilitation is approximately \$700,000. Therefore, the rehabilitation of the Scampini Building results in a negative profit margin of approximately \$500,000 (Appendix E, Table 2b).

The Agency will need to solicit another developer to implement the rehabilitation of the Scampini Building under this alternative. Despite the fact that the



Source: City of Pittsburg Redevelopment Agency

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developer of the Proposed Project will not incur the additional cost of rehabilitating the Scampini Building, the loss of residential units which results in lost revenue affects the financial pro forma of the Proposed Project. The Proposed Project (which includes demolition of the Scampini Building) would result in an estimated profit margin of \$5.6 M (or 6.4% return on costs) for the entire three block project (Appendix E, page 8, “Total Vidrio Project” table). This rate of return, without the loss of revenue attributed to retaining the Scampini Building, is well below the industry standard for this type of project, which is typically in the 15% plus range. Under the Retain the Scampini Building as a Stand Alone Project alternative, the developer’s estimated profit margin is \$3.1 M (or 3.6% return on costs). This rate of return is approximately half of the Proposed Project’s anticipated rate of return, which is already below industry standards.

KMA also considered Building A independently under this alternative. Under the Proposed Project the estimated profit margin of Building A is \$1.6 M (or 5.4% return on costs). This alternative results in a negative profit margin of approximately \$900,000 (Appendix E, page 7, “Building A” table). Therefore, the developer would need additional subsidy from the Agency in order to proceed with their project under Alternative A.

4. **Additional Agency assistance.** Under Alternative A, an additional approximately \$2.2 M of Agency subsidy would be required in order to maintain the project return rate of 5.4% for Building A and 6.4% for the entire three block project. This additional cost would be passed on to the Agency because the Proposed Project is already well below the expected standard industry profit return, typically 15%. The \$2.2 M is in addition to the approximately \$500,000 subsidy that is required to incite another developer to undertake the rehabilitation of the Scampini Building as outlined in this alternative. Overall, this alternative results in a negative fiscal impact to the Agency of approximately \$2.7 M (or \$519 per square foot of the Scampini Building).

B. Incorporate Scampini Building into the Project

Like Alternative A described above, this alternative would require that the northwest corner of the Proposed Project be redesigned; however, the Scampini Building would be physically integrated into the Proposed Project. Under this alternative, the southeast corner of the Scampini Building would become part of the garage. Approximately 30% of the Scampini Building’s existing footprint would be eliminated, leaving a footprint of approximately 3,700 square feet. A little over half of the eastern elevation would be part of a shared wall between the parking garage and the Scampini Building. The remaining portion of the eastern elevation would be replaced with a new wall that would be attached to the neighboring town home’s western wall. The existing southern elevation of the Scampini Building would also be replaced with a new wall. The existing northern and western elevations of the Scampini Building, which are the only two elevations with doors or windows, would remain intact under this alternative. This alternative results in a net loss of two units due to a reconfiguration of unit

types and sizes; the parking ratio of 1.8 parking spaces per dwelling unit is maintained (Figure 6).

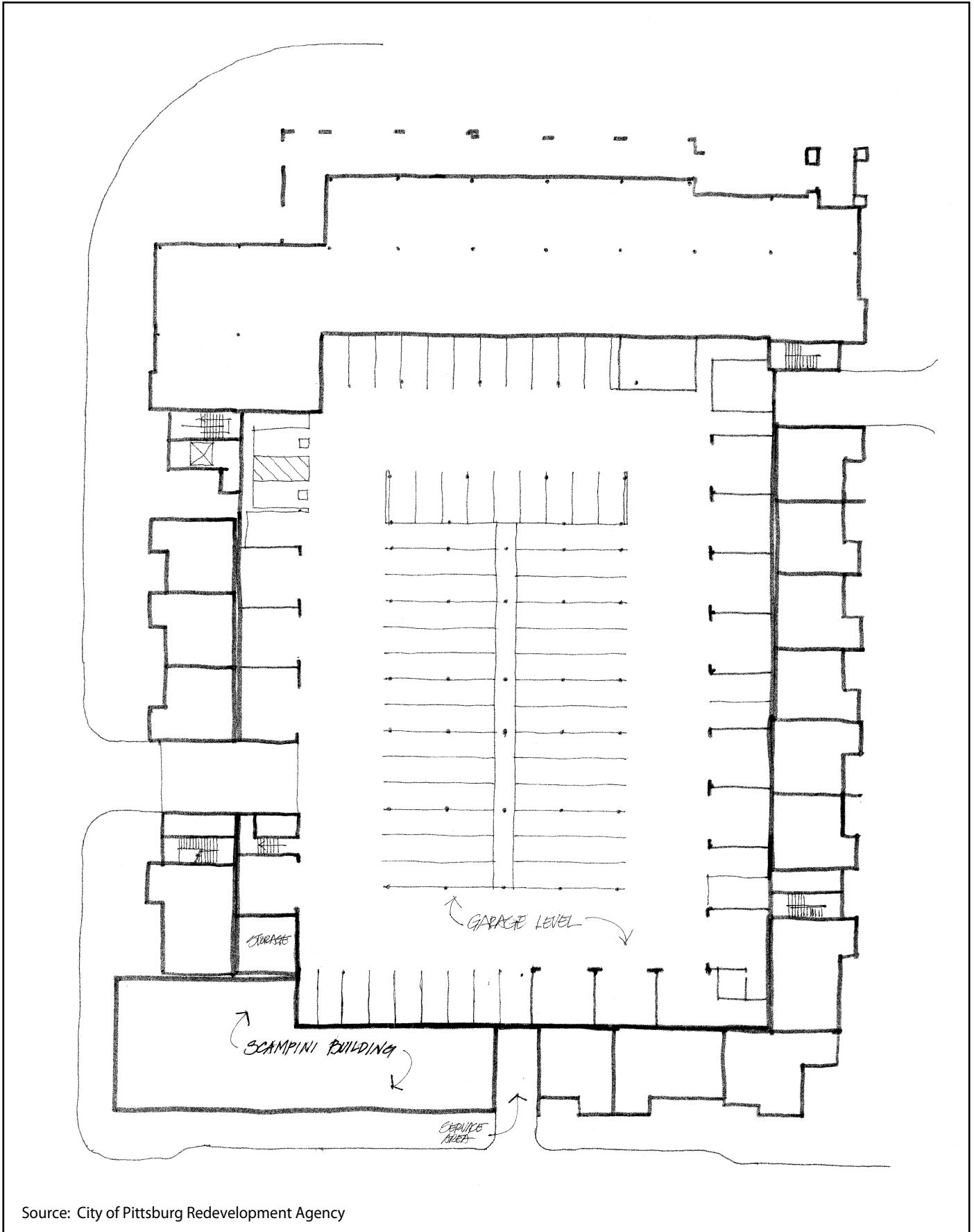
The shared walls, as described above, would be new and therefore would be designed to new construction standards. These new walls would be much stiffer than the remaining walls of the Scampini Building. Due in part to the poor condition of the existing roof and in part to the fact that seismic loads are transferred from the walls through the roof diaphragm, this alternative would result in the need for a new roof. The remaining western and northern elevations would need to be braced in order to interact with the overall building's structural system. In short, under this alternative all building improvements would be designed to current codes or new construction standards due to the amount of new construction required to incorporate the Scampini Building in to the Project. Under this alternative, the Scampini Building would become part of the Project and would be conveyed to the developer to own and manage.

Using the Proposed Project as the baseline, this alternative would result in the loss of three 2-Bedroom town homes and two 3-Bedroom town homes for a total of five units. The architect for the Proposed Project was able to add one 1-Bedroom flat and two 2-Bedroom flats into this alternative design for a total of three units. While there is a net loss of two residential units for a total of 64 units for Building A, the reconfiguration of units would result in a loss of approximately 6,381 square feet of residential space. This reconfiguration would also replace larger two- and three-bedroom town homes with smaller one- and two-bedroom flats, reducing the alternative's ability to accommodate families as compared to the Proposed Project. This alternative would result in the addition of approximately 3,700 square feet of commercial space due to the incorporation of the Scampini Building into the project, for a total of 13,436 square feet of commercial space (Table 2).

The costs, projected value, and anticipated profit margin associated with incorporating the Scampini Building under this alternative are summarized as follows:

1. **Cost of rehabilitation/construction.** Costs incurred to incorporate the Scampini Building into the project under this alternative would be approximately \$1.4 M (approximately \$385 per square foot) (Appendix E, Summary Table A). The cost estimate for this alternative is based on new construction standards provided by the general contractor for the Proposed Project, with modified and/or additional costs proposed by ARG. The cost of preserving the historic materials of the building as outlined by ARG would be the same as under Alternative A.

2. **Projected commercial value.** Project value is estimated based on the potential rent achievable and capitalized. The commercial rent assumptions for this alternative were also based on research conducted by KMA and generally concluded that the Scampini Building could support \$1.25 per square foot per month under this scenario, as opposed to \$1 per square foot per month under Alternative A. The additional \$0.25 per square foot is based on the assumption that, under this alternative, the space is improved to "new" standards. The same potential users as under Alternative A are envisioned to be targeted under this



Source: City of Pittsburg Redevelopment Agency

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alternative as well. Based on capitalization of projected stabilized rent, and the reduced square footage of 3,700 square feet compared to the existing 5,200 square feet, the projected value upon sale of the Scampini Building is approximately \$430,000 (Appendix E, Scampini Table 1b).

3. **Negative profit margin.** The development cost associated with incorporation of the Scampini Building, based on KMA’s analysis, is approximately \$1.4 M while the projected value of the Scampini Building, after being incorporated into the project, is approximately \$430,000. Therefore, the incorporation of the Scampini Building under this alternative results in a negative profit margin of approximately \$1 M (Appendix E, Table 1b).

KMA also considered Building A independently under this alternative. The entire Proposed Project has an estimated return of 6.4%. Under this alternative, the estimated profit margin for the entire project is \$3.2 M (or 3.6% return on costs). Considering just Building A under this alternative, the estimated profit margin would result in a deficit of approximately \$700,000. Therefore, the developer would need additional subsidy from the Agency in order to proceed with their project under Alternative B.

4. **Additional Agency assistance.** Under Alternative B, an additional approximately \$2.3 Million of Agency subsidy would be required to maintain a project return rate of 5.4% for Building A and 6.4% for the entire three-block Project. The additional cost would be passed on to the Agency because the Proposed Project is already well below the expected standard industry profit return (typically set at 15%). The total negative fiscal impact to the Agency under this scenario is approximately \$2.3 M (or \$622 per square foot of the Scampini Building).

Table 2: Building A Only

	Total # of Dwelling Units	Total Residential SQFT.	Total Commercial SQFT.
Proposed Project	66	90,031	9,736
Retain Scampini Building Alternative	55	74,298	9,736
Incorporate Scampini Building Alternative	64	83,650	13,436

Source: City of Pittsburgh Staff, 2007

Alternative Considered but Rejected: Move the Scampini Building

The City also explored an alternative of moving the Scampini Building to a new location, but this alternative it is not further considered in this SEIR for the following reasons:

1. A suitable location within the District to where the Scampini Building could be relocated, which would lessen the impact to the District to less than significant, or lessen the impact to a lesser level than the two alternatives being considered in this SEIR, could not be identified.
2. The costs associated with moving the Scampini Building to another location within the District are in excess of either of the alternatives being considered in this SEIR for the following reasons:
 - a. Seismically retrofit the Scampini Building. As the Scampini Building is structurally deficient, it would need to be seismically retrofitted prior to moving it to a new location. It is reasonable to conclude that the cost of the retrofit would be at least equal to the cost anticipated to retrofit, if the building were to stay in its current location;
 - b. Acquire additional land for new location. If a suitable location did exist to where the Scampini Building could be relocated without a significant impact to the District, acquisition costs associated with getting site control, and conceivably demolition costs, could be incurred as well;
 - c. Construct a new building foundation. A new foundation would have to be poured at the new site, a cost not incurred in either of the two alternatives being considered in this SEIR;
 - d. Cost to move the building. The cost of physically moving the building from its existing site to a new location would not be required under either of the two alternatives that are being considered in this SEIR.

The costs of the criteria outlined above would be in addition to the costs incurred as a result of retaining the Scampini Building, as discussed in Alternative A or incorporating it into the Project as analyzed in Alternative B. Moving the Scampini Building to another location within the District does not provide an alternative that results in a lesser impact than either of the two identified alternatives, and it is a far more costly proposition. Therefore, pursuant to CEQA section 15126.6, the City considered and rejected this alternative from further analysis.

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Appendix A

**Jones & Stokes Cultural Resources
Inventory Report**

Draft
Cultural Resources Inventory Report for the
Black Diamond Redevelopment Project,
City of Pittsburg, Contra Costa County, California

Prepared for:

City of Pittsburg
City of Pittsburg Redevelopment Agency
65 Civic Avenue
Pittsburg, CA 94565

Prepared by:

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916/737-3000

February 2007

This document should be cited as:

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ACRONYMS AND ABBREVIATIONS

CEQA	California Environmental Quality Act
City	City of Pittsburg
CRHR	California Register of Historical Resources
DEIR	draft environmental impact report
District	New York Landing Historic District
DPR	California Department of Parks and Recreation
NAHC	Native American Heritage Commission
NRHP	National Register of Historic Places
NWIC	Northwest Information Center
PG&E	Pacific Gas and Electric Company
PRC	Public Resources Code
proposed project	Black Diamond Project
SHPO	State Historic Preservation Office
USDOJ	U.S. Department of the Interior

INTRODUCTION

Jones & Stokes has contracted with the City of Pittsburg (City) to prepare a cultural resources inventory for the Scampini Building and the New York Landing Historic District (District), which may be affected by the Black Diamond Project (proposed project) in Pittsburg, California (Figures 1 and 2). The report is being prepared for California Environmental Quality Act (CEQA) review. The City requested this report to obtain an independent professional analysis of the potential for the proposed project to result in significant impact under CEQA. CEQA requires a project proponent to identify significant historical and archeological resources that may be affected by the project, assess the significance of the impacts on these resources, and identify ways to avoid or reduce significant impacts. The proposed project calls for the demolition of the Scampini Building (2–4 Black Diamond Street), a contributor to the District.

This report applies State of California criteria in identifying and evaluating the significance of the Scampini Building as an individual resource as well as assessing the current integrity of the District. The report then reviews the proposed project to identify its potential to cause an impact on the two resources.

Jones & Stokes, an environmental planning and resource management firm with offices throughout the state, prepared this report. Dana McGowan served as Project Director, and Madeline Bowen served as principal investigator for this project. Ms. McGowan and Ms. Bowen meet the Secretary of the Interior's professional qualification standards for archaeologist and architectural historian, respectively, and combined have over 40 years experience in the field of cultural resources. Staff archaeologists Andrea Gueyger and Stacy Schneyder, who meet the Secretary of the Interior's Standards for archaeology, addressed archaeological resources. Staff historians Kathryn Haley and Chris Kuzak provided additional support.

PROPOSED PROJECT

The project site is located in downtown Pittsburg, California, and consists of 39 parcels on three city blocks (Figure 3). The project site is bounded by East Fifth Street on the north, Railroad Avenue on the east, East Eighth Street on the south, and Black Diamond Street on the west.

The proposed project consists of a mixed-use development of 195 residential units and approximately 40,000 square feet of ground-floor retail space with covered, private parking spaces for the residential units. Residential units would range from one-bedroom lofts or flats to three-bedroom townhouses. Three separate buildings are proposed at the project site—Buildings A, B, and C. Building A would be located on the northern block and provide 66 residential units and 119 parking spaces. Building B would be located on the center block and provide 75 residential units in addition to a pool, recreation center, and 135 parking spaces. Building C,

located on the southern block, would provide 54 residential units and 97 parking spaces. Covered, onsite parking would be provided on the ground floor of each proposed structure, at a ratio of 1.8 parking spaces for each residential unit.

PREVIOUS STUDIES

In 1981, Astone & Associates conducted a survey of historic (50-year-old or older) buildings within downtown Pittsburg to assist the City and the local New York Landing Association in documenting a locally certified historic district, to encourage revitalization in the area. As part of the survey, Astone & Associates documented 39 buildings in the downtown area that composed the District.

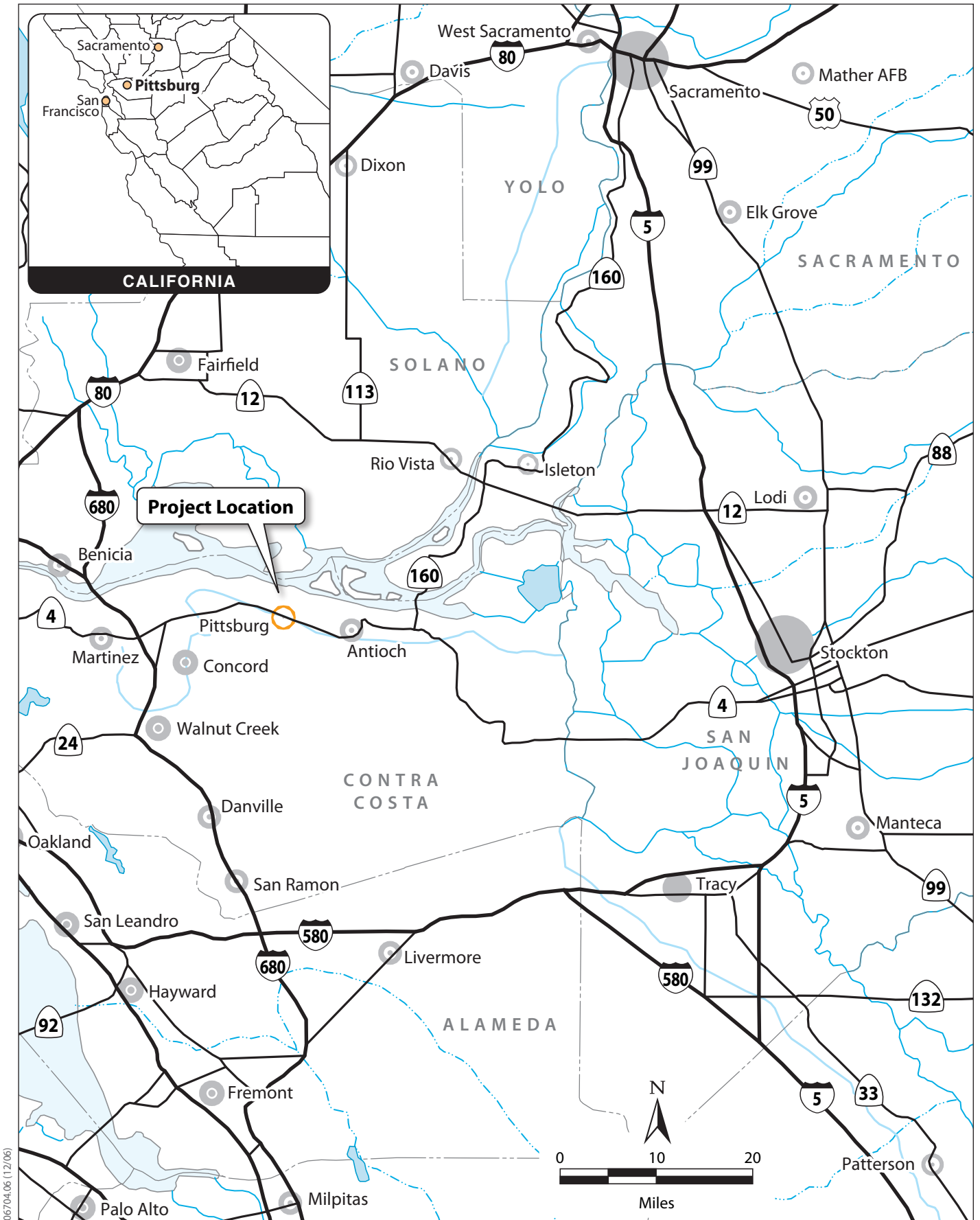
Efforts to document the historic district within the 1981 report consisted primarily of a visual assessment of all historic buildings in the downtown area that were constructed prior to World War II. The report's author documented potential contributors to the District through photography and notes. Based upon the final report, it appears that basic research was conducted to determine the most general facts about the area, to determine whether a locally viable district existed. This research included such things as construction dates of the buildings, ownership information, and background data to draft a brief historic context. The report's function was to determine constraints and opportunities for revitalization efforts of the day. The result of the report was the formal certification of the local historic district. While a general assessment of historic integrity is discussed, the limited nature of the report precluded any in-depth analysis of changes to the buildings since their construction. Changes (when noted) are discussed in basic terms regarding how the overall building was altered. Character-defining features are also discussed in general terms. Finally, the report assessed the District's significance only as a cohesive unit. It appears that none of the contributors were evaluated for possible individual significance.

The National Parks Service certified the District in 1982. As a certified historic district, the District automatically became listed on the California Register of Historical Resources (CRHR) when that register became effective in 1993.

In 2005, Lamphier-Gregory prepared a draft environmental impact report (DEIR) for the proposed project. A final EIR was certified in connection with the 2005 Project approval. The DEIR indicated that the proposed project would have a significant impact on the Scampini Building. The impact of the proposed project on the District was not analyzed.

OBJECTIVES OF THE STUDY

Due to the passage of time since the District was certified, and because a substantial amount of new development has occurred in close proximity to the Scampini Building since



06704.06 (12/06)

Figure 1
Regional Location



06704.06 (11-07)

Source: City of Pittsburgh Redevelopment Agency

1981, the City requested that Jones & Stokes prepare an updated analysis of the significance of the Scampini Building. Additionally, because the previous study did not assess the buildings within the District for their individual significance, the City requested that the reevaluation include an assessment of its contribution to the District and its individual significance.

The City also requested that Jones & Stokes update the analysis for archaeological resources to assess the potential for discovering buried resources during construction.

METHODS

Efforts to locate cultural resources within the project area consisted of conducting a records search and archival research, contacting Native American representatives, and conducting field surveys.

Records Search

Jones & Stokes requested a records search of the project area from the Northwest Information Center (NWIC) of the California Historical Resources Information System, located near Sonoma State University, Rohnert Park, California (NWIC File 06-245). The NWIC administers the State of California's official records of previously recorded cultural resources and cultural resource studies for a 16-county area that includes Contra Costa County. The records search request also included a 0.5-mile radius from the project area. In addition to maps of previous cultural resource studies and recorded cultural resources, the NWIC consulted the following sources:

- Directory of Properties in the Historic Property Data File for Contra Costa County (Office of Historic Preservation 2006:1, 36–41); and
- California Inventory of Historic Resources (California Department of Parks and Recreation 1976).

The NWIC provided the records search results to Jones & Stokes on September 26, 2006. The records search indicated that no previously recorded cultural resources are located within the project area but a total of four resources are located within 0.5 mile of the project area. Site CA-CCO-715H is the remains of three historic building foundations associated with the Columbia Steel Company and an abandoned historic Pacific Gas and Electric Company (PG&E) substation. The site was recorded by S. Dexter of URS Corporation in 1998, with an update in 2000. Site P-07-000864 is the building foundations of the former Redwood Manufacturers Company, which included a steam and electrical facility, planning mill, and a band saw and filing mill. This site was recorded by B. Hatoff and B. Bass of URS Corporation in 1999. Resource P-07-000869 is a complex of corrugated metal buildings constructed in the 1940s by

Getty Oil. They are still being used by the current tenant for coke distribution. The resource was recorded by L. Billat of Earth Touch in 2002. Resource CA-CCO-749H is a portion of the Union Pacific Railroad alignment built in 1878. It was initially built by the Central Pacific Railroad to serve the cities of Contra Costa County. The resource was recorded by B. Scott of Jones & Stokes in 1999. No previously recorded prehistoric cultural resources are located within the project area or within a 0.5-mile radius of the project area, as indicated by the records search.

The records search indicates that five cultural resource studies have been conducted within the project area (Busby 1976; Woodward-Clyde 1985a; Woodward-Clyde 1985b; Morgan and Bachand 1998a; Busby 2004). Only two of the previous studies were conducted within the last 10 years. The records search also indicates that a total of 14 previous cultural resource studies have been conducted within 0.5 mile of the project area (Chavez and Woodbridge 1988; Bramlette et al. 1991; Holman 1991; Chavez 1995; West and Welch 1996; Busby 1996; Hatoff et al. 1998; Morgan and Bachand 1998b; Jones & Stokes 1999; Basin Research Associates 2000; URS 2000; Billat 2002; Tang et al. 2005; Holman 2006).

In addition to reviewing the records search material, Jones & Stokes reviewed the National Register of Historic Places (NRHP), historic maps of the project area, and pertinent ethnographic literature for the presence of cultural resources (General Land Office 1870; U.S. Geological Survey 1908; Kroeber 1976). These sources do not indicate the presence of cultural resources in the project area.

Archival Research

Extensive historic map and archival research has revealed that nineteenth century American Period resources may have once been located within the project area. The 1907 Sanborn Fire Insurance map depicts several residences and industrial complexes in the area. No earlier maps have been identified; however, the downtown area was established as early as 1850. Based on the 1907, 1917, 1927, and 1940 Sanborn Fire Insurance Maps, the project area appears to be located within a portion of downtown that has been severely disturbed by development over the last 75 years, which has likely disturbed the integrity of archaeological deposits that may have been located within the project area. The construction of a gas station, telephone company offices, the Pittsburgh Soda Works, and a battery service station prior to 1927 likely disturbed earlier archaeological features.

Based on the historic map research and the documented level of disturbance to the area, the project site evinces a low potential for containing significant intact subsurface historical archaeological features and deposits.

Jones & Stokes conducted research for the project at the Contra Costa County Assessor's Office, the City of Pittsburg Building Department, the Pittsburg Public Library, the Pittsburg Historical Society and Museum, and the California State Library, Sacramento. The research was conducted to identify important historic people, events, or architectural trends that might be

associated with the project area and help determine whether the architectural resources have potential to be historically significant under CEQA.

Native American Contacts

Jones & Stokes contacted the Native American Heritage Commission (NAHC) in October 2006, as one means of determining the presence or absence of cultural resources in the proposed project area. The NAHC responded to the request on November 3, 2006 with a contact list. That same day, Jones & Stokes sent letters and maps describing the project and its location to Native American individuals included on the list. The letter asked for any information they might have regarding cultural resources in the proposed project area. As of January 31, no responses to this letter have been received. All correspondence is contained in Appendix A of this report.

Surveys

Jones & Stokes archaeologists conducted an intensive pedestrian survey of the project area on September 5, 2006. The majority of the project area was covered with gravel and was not conducive to standard survey techniques. Areas of exposed ground surface were inspected for the presence of archaeological remains. Several fragments of aqua and green glass were observed, though no archaeological resources were identified.

On August 10 and 18, 2006, Jones & Stokes architectural historians conducted a field survey of the project area to assess the Scampini Building's current integrity, its significance as a contributor to the District, and its potential to be individually significant. As part of the field process, buildings within the District were visually inspected and photographed. In addition, the Scampini Building was recorded through written notes and photography.

CULTURAL SETTING

Prehistory

The project area is located in what is considered the Sacramento River–San Joaquin River Delta subregion of the Central Valley region of California. Much of our current understanding of Central Valley prehistory stems from work that was done in the Delta region in the 1930s by Sacramento Junior College (Moratto 2004).

Although the Central Valley may have been inhabited by humans as early as 10,000 years ago, the evidence for early human use is likely buried by deep alluvial sediments that accumulated during the late Holocene epoch. The economy of this early period is generally thought to be based on the exploitation of large game. Although rare, archaeological remains of this early period have been identified in and around the Central Valley (Treganza and Heizer 1953; Johnson 1967; Peak and Associates 1981). Johnson (1967:283–284) presents evidence for some use of the Mokelumne River area, under what is now Camanche Reservoir, during the late Pleistocene. Archaeologists found a number of lithic cores and a flake that are associated with Pleistocene gravels. These archaeological remains have been grouped into what is called the Farmington Complex, which is characterized by core tools and large, reworked percussion flakes (Treganza and Heizer 1953:28). Later periods are better understood due to a more abundant representation in the archaeological record.

The taxonomic framework of the Central Valley has been described in terms of archaeological patterns (Moratto 2004). A pattern is a general mode of life characterized archaeologically by technology, particular artifacts, economic systems, trade, burial practices, and other aspects of culture. Fredrickson (1973) identified three general patterns of resource use for the time period between 2,500 B.C. and A.D. 1,500, specifically the Windmill, Berkeley, and Augustine Patterns.

The Windmill Pattern (2,500 B.C. to 1,000 B.C.) shows evidence of a mixed economy of game procurement and use of wild plant foods. The archaeological record contains numerous projectile points with a wide range of faunal remains. Hunting was not limited to terrestrial animals, as is evidenced by the Windmill toolkit, which included fishing hooks and spears. The remains of sturgeon, salmon, and other fish are frequently recovered from Windmill Pattern sites (Moratto 2004). Plant resources were also used, as indicated by ground stone artifacts and clay balls that were used for boiling acorn mush. Settlement strategies during the Windmill period reflect a seasonal adaptation. Habitation sites in the valley were occupied during winter, but populations moved into the foothills during summer (Moratto 2004).

The Windmill Pattern was superseded by a more specialized adaptation labeled the Berkeley Pattern (1,500 B.C. to A.D. 500). A reduction in the number of manos and metates and an increase in mortars and pestles indicate a greater dependence on acorns. Although gathered resources grew in importance during this period, the continued presence of projectile points and atlatls in the archaeological record indicates that hunting was still an important activity (Fredrickson 1973).

The Berkeley Pattern is superseded by the Augustine Pattern around A.D. 500. The Augustine Pattern reflects a change in subsistence and land-use patterns to those of the ethnographically known people (Nisenan) of the historic era. This pattern exhibits a great elaboration of ceremonial and social organization, including the development of social stratification. Exchange became well developed, and an even more intensive emphasis was placed on the use of the acorn, as is evidenced by the presence of shaped mortars and pestles and numerous hopper mortars in the archaeological record. Other notable elements of the artifact assemblage associated with the Augustine Pattern include flanged tubular smoking pipes, harpoons, clamshell disc beads, and an especially elaborate baked clay industry, which included

figurines and pottery vessels (Cosumnes Brownware). The presence of small projectile point types, referred to as Gunther Barbed series, suggests the use of the bow and arrow. Other traits associated with the Augustine Pattern include the introduction of preinterment burning of offerings in a grave pit during mortuary ritual, increased village sedentism, population growth, and an incipient monetary economy in which beads were used as a standard of exchange (Moratto 2004).

Ethnography

The project area is located in the historic territory of the Bay Miwok. The Bay Miwok occupied the eastern portions of what is now Contra Costa County, from Mt. Diablo northeast into the Delta. The Bay Miwok speak a language that is classified by anthropologists as part of the eastern division of the Miwokan language subfamily (Shiple 1978). The Bay Miwok distributed themselves into tribelet groups that consisted of a village or groups of villages that shared linguistic and/or kinship affinities. Theodoratus et al. (1980:78) estimate the average population of Bay Miwok tribelets at 300 persons. The Montezuma Hills were not occupied permanently by the *Ompin*, nor their closest neighbors, the Southern Patwin and Plains Miwok (Bennyhoff 1977:146). Settlements were located on permanent watercourses, intermittent streams (in drier areas), and on high ground when in close proximity to the Delta (Theodoratus et al. 1980). The Bay Miwok probably followed a seasonal round to acquire necessary food and other materials. The *Ompin* tribelet in particular would have visited the Montezuma Hills in spring and summer to hunt pronghorn antelope, jackrabbit, and possibly tule elk (Theodoratus et al. 1980); seed-bearing grasses and sedges may have been available during this interval as well. Resources available in the Delta and the surrounding marshlands included deer, pronghorn antelope, tule elk, rodents, waterfowl, freshwater mussels and clams, fish, and various insects (Levy 1978b).

The Bay Miwok constructed several types of structures. Conical thatch structures covered with tule mats were commonly used as residences both along the Delta and in uplands such as the Montezuma Hills. The Bay Miwok constructed semisubterranean earth-covered lodges that served as winter homes. Other structures included acorn granaries, menstrual huts, sweathouses, and assembly houses. Assembly houses comprised two types: a semisubterranean earth lodge and a circular brush enclosure. The Bay Miwok made the former structure a ritual and social focal point. The brush enclosure, on the other hand, provided space for ceremonies (Levy 1978b).

Miwok technology included bone, stone, antler, wood and textile tools. Hunting was accomplished with the use of the bow and arrow, in addition to traps and snares. Basketry items included seed beaters, cradles, sifters, rackets used in ball games, and baskets for storage, winnowing, parching, and carrying burdens. Other textiles included mats and cordage. Tule balsas were constructed for navigation on rivers and in the Delta (Levy 1978b).

The basic subsistence strategy of the Eastern Miwok was seasonally mobile hunting and gathering. The only cultivated crop was tobacco and the only domesticated animal was the dog.

An ample supply of seed bearing annuals and forage for game was assured by intentional burning in August. Acorns, the primary staple, were gathered in fall and stored through winter. Important summer staples were seeds, gathered May through August. Plant foods included acorns, buckeye nuts, laurel nuts, hazelnuts, seeds, roots, greens, and some berries. The Miwok ate more meat in winter, when only stored plant resources were available. Hunting was accomplished with the aid of the bow and arrow, and traps and snares. Animal foods consisted of deer, elk, antelope, rodents, waterfowl, quail, pigeons, flickers and other birds, freshwater mussels and clams, land snails, fish, and a variety of insects. Salt was obtained from springs or through trade with the Northern Paiute of the Mono Lake area (Levy 1978b).

With the arrival of trappers, gold miners, and settlers to California, the Miwok suffered exposure to new varieties of introduced diseases they had previously not experienced. Although this early contact with settlers had a destructive impact on the Miwok population, relationships with settlers varied. While some hostilities occurred between the Sierra Miwok and miners, some of the Plains Miwok became involved in agricultural operations on large land grants only then coming into existence. After the United States annexed California, some of the Miwok were displaced to Central Valley locations, yet many remained on the rancherias established in the Sierra Nevada foothills. During the final decades of the nineteenth century and early years of the twentieth century, the Miwok living on the foothill rancherias adapted to a new lifestyle. Subsistence through hunting and gathering was now augmented by seasonal wage labor on ranches and farms. As the reliance upon a cash income increased, traditional subsistence practices suffered. Several persons of Miwok descent still survive and maintain strong communities and action-oriented organizations (Levy 1978b).

History

The following historical overview is taken from the New York Landing Historic District document prepared by Astone & Associates (1981).

The earliest recorded history of Pittsburg starts in 1839, the time when the still-new nation in the east, which was then creeping westward, was seriously debating “the slavery question” as prelude to a great civil war.

That year the Mexican government granted almost 10,000 acres—called Rancho Los Medanos—to Jose Antone Mesa and Miguel Jose Garcia. Ten years later, they had mortgaged or sold most of the land, and Pittsburg’s first real estate developer, Col. J. D. Stevenson, arrived from New York. He eventually owned or controlled much of Rancho Los Medanos. Stevenson hired a young lieutenant of the Army Engineers to lay out the little town, which was named Newark of the Pacific. The first post office in Contra Costa County was established here in 1849.

Predating Col. Stevenson’s arrival by just 2 years, Charles N. Wright came here in spring 1847 and is credited with being the first American settler.

Most of the buildings in the new town were built by Joseph and W. W. Smith, who were hired by Col. Stevenson. The Smiths built a house for their two families and called it New York House. It later became a family-owned hotel. With the discovery of gold in California, the little community became an overnight stopping place for miners on their way to the gold fields and sailing vessels enroute to inland towns with supplies.

The town grew and its name was changed to New York Landing. Young army lieutenant William Tecumseh Sherman, who had laid it out, went on to fame as a Civil War general.

Col. Stevenson eventually sold his interests to a banking firm in San Francisco, which in turn sold them to L. L. Robinson, one of the pioneer railroad builders. Upon his death, the property went to his sister, Mrs. Tot Cutter (for whom Cutter Street was named), and she in turn sold it to the C.A. Hooper Company.

Charles A. Hooper, a Union Army veteran of the Civil War, and his brother George created a huge cattle and grain ranch out of the property, one of the most famous in early California. Nevertheless, there were still more wild horses grazing among the tule than there were people.

Then, in 1855, the discovery of coal in the hills three miles south of New York Landing brought many people, mostly of Welsh extraction, to the new town. There were certainly more coal miners in town than gold miners, and they could afford to eat more regularly than the gold miners. A railroad was laid from the mines to the river, along the route of what is now Railroad Avenue. The cars were drawn by horses at first. The town was later renamed Black Diamond in honor of the new source of wealth.

Others were even more successful. On December 22, 1859, at a distance of 3.5 miles west of Horse Haven Valley, Francis Somers and James T. Cruikshank discovered coal. Coal mining rapidly became one of the most important industries in Contra Costa County. Four towns grew up around the mines: Somersville, Nortonville, Black Diamond (formerly New York Landing), and, to a great extent, Antioch.

The first organized school in the New York of the Pacific district started in a small dwelling house that was moved down from the mines on a flat car and deposited upon a lot that had been secured by telling the owner that a livery stable was to be erected upon it. The first school was located near the corner of Fifth and Railroad Streets.

Sons of sunny Italy and Sicily were among the influx of arrivals in 1850. In the early 1870s, the first immigrant from Isola Della Femmine settled here.

Peter Aiello came to the new world bringing a shipment of lemons. He landed in New Orleans and went to work in the oyster fields. Not happy there, Aiello traveled to San Francisco where he heard about the excellent fishing around New York Landing. He came by train from the city and started fishing. Aiello stayed 4 years, then returned to Italy to fetch his family, with word of the wonderful fishing here. Within a few years, a large Italian settlement had established itself and New York Landing's fishing industry grew.

By 1882, Black Diamond was a canning center. Many Chinese were hired to help fashion the cans by hand, with tin snips and soldering irons.

In 1906, Columbia Geneva Steel had its inception. By 1910, it was in operation, covering 20 acres and employing 60 people. In 1930, Columbia Steel became a subsidiary of United States Steel.

The impact of the steel mill brought about a change of name for the town. By popular vote on February 11, 1911, the name was changed from Black Diamond to Pittsburg, after the eastern birthplace of the steel industry, but dropping the “h” for simplified spelling.

Stockton Fire Brick Company erected a plant 2 miles west of Pittsburg in 1929–1930. It was the largest fired clay refractories plant west of the Missouri River. In 1943, the name was changed to the Gladding McBean Company and later to International Pipe and Ceramics Corp.

The first bank in Pittsburg was founded January 1, 1904, with a capital investment of \$50,000. In 1924, the bank was taken over by Mercantile Trust Company, and in 1927 it merged with American Trust Company. In 1960, the name was changed to Wells Fargo American Trust Company, following another merger. Pittsburg’s second bank was First National, started in 1919 with \$100,000 of capital. In 1927, the bank was taken over by the Bank of Italy, which in 1930 became the Bank of America.

District Background

The waterfront area around the turn of the twentieth century was a rich combination of industrial and commercial facilities, reflecting a dependence on the water for trade and for transportation. Nearby residential neighborhoods flourished in concert with economic trade.

Retailing moved away from the waterfront area and became centered in the area of Third, Fourth, and Fifth Streets, with the center of the downtown area shifting from lower Black Diamond Street to Railroad Avenue. Used extensively as the railroad right-of-way as well as a public street, Railroad Avenue became the center of commerce, being the location of several banks as well as the center of retailing with department and specialty stores.

Traditional with cities throughout the country, newer and more convenient commercial areas were developed causing the older business centers to decline not only in the minds of the Pittsburg community but a physical deterioration as well. In the 1960s and 1970s at the waterfront, an active program of “redevelopment” was planned and implemented, resulting in the demolition of all of the commercial and industrial facilities from Third Street north, and all of the adjacent residential neighborhoods.

Remaining intact is the older business center comprised of 33 pre-1930 commercial structures. This concentration evolved into a continuing extension of several blocks of older

commercial structures circa 1940 to 1950. The original street pattern has remained intact and has seen some attempts at urban beautification along Third Street and Railroad Avenue.

DESCRIPTION OF HISTORIC RESOURCES

The District is located in close vicinity to the proposed project area, and one contributor (the Scampini Building) is located within a portion of the proposed project area (Figure 4). The District and the Scampini Building are described below.

New York Landing Historic District

As identified in the 1981 survey, the District encompasses all or a portion of nine blocks in downtown Pittsburg. Generally, the blocks contain small mid-rise commercial buildings and some office buildings dating to the early twentieth century as well as a handful of vacant lots and surface parking lots.

For the purposes of this report, the blocks within the District are identified as Blocks A–I (Figure 4). Boundaries of the District were originally defined by groups of compatible buildings or vacant lots. The District is bounded by E. Third Street to the north and Cumberland Street to the east, encompassing parcels on the northeast corner of E Third Street and Cumberland and the southeast corner of E. Fourth Street and Cumberland. The boundary continues south along Cumberland Street and veers west along E. Fifth Street, and includes the two northern parcels on Block I. It continues westward until it meets Black Diamond Street, taking in the southeastern and southwestern parcels on Black Diamond Street and E. Fifth Streets. The boundary travels north on Black Diamond Street and veers east at E. Fourth Street, excluding the parcel on the southeastern corner of Black Diamond Street and E. Fourth Street, but taking in the two additional parcels to the east of the parcel. It continues northward behind the parcels fronting Railroad Avenue until it meets E. Third Street.

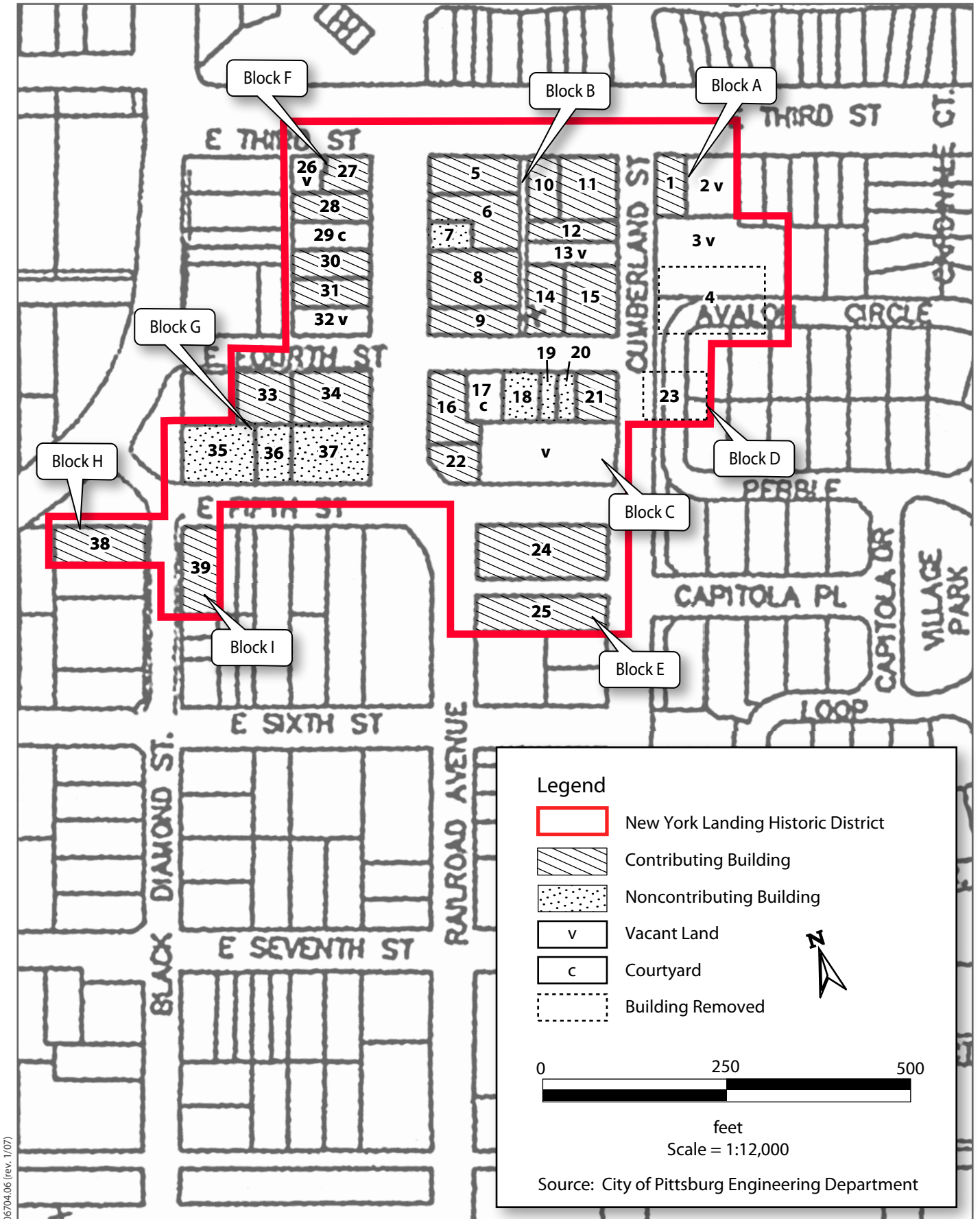
The 1981 report identified the New York Landing District as a group of buildings that reflected a time of historic development in Pittsburg. The concentration of commercial structures portrayed the economic progress of the area from the turn of the twentieth century through the 1920s. Astone & Associates emphasized that the variety of downtown structures, in addition to the heritage of numerous decades, reflected a different sense of size and scale than is found in present-day commercial construction. The 1981 report also identified a strong feeling of time and place manifested by the cohesive architectural styling of the existing buildings.

The 1981 survey identified a total of 40 parcels composing the District. Of these 40 parcels, 33 contained buildings or structures. The remaining seven were vacant parcels. A total of 26 parcels were listed as contributors to the District, and seven were noncontributors (Table 1).

Key buildings identified in the 1981 survey included the Liberty Hotel, National Hotel, California Theater, Vieira Building, Pittsburg Post Dispatch Buildings, Medico-Dental Building, Bank of America, and Lazio Building.

Table 1. New York Landing Historic District

Building Number	Address*	Building Name	Year Built	Assessors Parcel Number	Contributor
BLOCK A					
1	200 E. Third Street	Liberty Hotel	c. 1925	085-091-015	Yes
2	Vacant				No
3	Vacant				No
4	201 E. Fourth Street	Woolworth Building (Not Extant—Parking Lot)	c. 1929	085-091-012	Yes
BLOCK B					
5	315–319 Railroad Avenue, 110–120 E. Third Street (301 Railroad Avenue)	National Block, National Hotel	c. 1922	085-108-001	Yes
6	329 Railroad Avenue (323 Railroad Avenue)	National Dollar Store	c. 1924	085-108-015	Yes
7	Noncontributor				No
8	371 Railroad Avenue	California Theater	1920	085-108-004	Yes
9	395 Railroad Avenue	Sol's Clothing Store, La Marina Restaurant	c. 1920	085-108-005	Yes
10	158-156 E. Third Street (150 E. Third Street)	Greenberg Building	c. 1925	085-108-011	Yes
11	190 E. Third Street	Green Building	1925	085-108-010	Yes
12	340 Cumberland Street (348 Cumberland Street)	Last Chance Building, T. J. Jenkins	1926	085-108-009	Yes
13	Vacant				
14	153 E. Fourth Street	King Parker Building	1929	085-108-006	Yes
15	163-165 E. Fourth Street, 380 Cumberland Street (163 E. Fourth Street)	King Parker Building, Montgomery Ward Building	1929	085-108-007	Yes
BLOCK C					
16	415 Railroad Avenue	Contra Costa County Bank, Wells Fargo Bank	1921	085-109-001	Yes
17	124 E. Fourth Street	Wisemans (Not Extant—Courtyard)	1920	085-109-002	Yes
18	Noncontributor				No
19	Noncontributor				No
20	Noncontributor	Vacant, building			No
21	190 E. Fourth Street	Aiello Building	1923	085-109-006	Yes



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Figure 4
New York Landing Historic District

Building Number	Address*	Building Name	Year Built	Assessors Parcel Number	Contributor
22	485 Railroad Avenue, 105 E. Fifth Street (485 Railroad Avenue)	Medico-Dental Building, Woulf & Fry	1926	085-109-008	Yes
22a	Vacant				No
BLOCK D					
23	411–413 Cumberland	Vieira Building site; residential subdivision	1928	085-092-001	Yes
BLOCK E					
24	501-509 Railroad Avenue	Post Office Building, Old Post Office	c. 1930	085-167-001	Yes
25	515 Railroad Avenue	Pittsburg Post Dispatch	1924	085-167-007	Yes
BLOCK F					
26	Vacant				No
27	306-318 Railroad Avenue	Martinetti Building, Yummy Yogurt	1914	085-105-016	Yes
28	320 Railroad Avenue (324 and 320 Railroad Avenue)	Lazio Building, New Mecca	1914	085-105-009	Yes
29	Vacant	Courtyard			No
30	330 Railroad Avenue	Royce Building	1914	085-105-011	Yes
31	360 Railroad Avenue	Demetrakopulos Building	1914	085-105-012	Yes
32	Vacant				No
BLOCK G					
33	10 E. Fourth Street	Burlessas Building	1922	085-104-009	Yes
34	360 Railroad Avenue (430 Railroad Avenue)	Bank of America Building	1921	085-104-006	Yes
35	Noncontributor				No
36	Noncontributor				No
37	Noncontributor				No
BLOCK H					
38	510 Black Diamond or 515 Marina	Lepori Building, Ken's Furniture	c. 1924	085-161-007	Yes
BLOCK I					
39	2–4 E. Fifth Street	Scampini Building	1925	085-166-009	Yes

* Those in parentheses are former addresses.

Scampini Building

The Scampini Building is located at 2–4 Black Diamond Street, at the corner of Black Diamond Street and E. Fifth Street. It sits on the outer southwestern edge of the District and forms a visual bridge to the nearby Lepori Building (also a contributor to the District). Three noncontributing buildings are directly across the street from the Scampini Building, and two vacant parcels are immediately east of the building.

The Scampini Building is a 5,500 square foot one-story rectangular brick building with a flat roof. It consists of unreinforced masonry and is supported by a concrete slab foundation. The façade features rectangular storefront windows with replacement metal frames. Metal-framed glass swing doors with steel transoms access two separate recessed entryways. A sign above the doors reads, “Chapel Churches Incorporated: Temple of Prayer Apostolic Church: Elder Basil A. Price, Pastor.” The building’s west elevation includes a series of 1/1 double hung window units with decorative brick arches as well as some large metal-framed replacement windows and wood personnel doors. The south and east elevations are solid brick with no window or door openings, as these walls historically faced up against other buildings. A string course of decorative brickwork is located on the upper portion of the building’s north and west walls. Trees and street lamps front the building along Black Diamond and E. Fifth Streets.

SIGNIFICANCE CRITERIA

CEQA requires that public or private projects financed or approved by public agencies must assess the effect of the project on historical resources. Historical resources are defined as buildings, sites, structures, objects or districts, each of which may have historical, architectural, archaeological, cultural, or scientific significance (CEQA Guidelines Section 15064.5).

CEQA requires that if a project results in an effect that may cause a substantial adverse change in the significance of an historical resource, alternative plans or mitigation measures must be considered; however, only significant historical resources need to be addressed. Therefore, before effects are assessed or mitigation measures are developed, the significance of cultural resources must be determined. The steps normally taken in a cultural resources investigation for CEQA compliance are as follows:

1. Identify potential historical resources.
2. Evaluate the eligibility of historical resources.
3. Evaluate the effects of a project on all eligible historical resources.

California Register of Historical Resources

State CEQA Guidelines Section 15064.5 defines three ways that a property can qualify as a significant historical resource for the purposes of CEQA review:

- The resource is listed in or determined eligible for listing in the CRHR.
- The resource is included in a local register of historical resources, as defined in Public Resources Code (PRC) Section 5020.1(k) or identified as significant in an historical resource survey meeting the requirements of PRC 5024.1(g) unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
- The resource is determined by the lead agency to be significant, as supported by substantial evidence in light of the whole record.

The CRHR was created by the state legislature in 1992 and is intended to serve as an authoritative listing of historical and archaeological resources in California. In addition, the eligibility criteria for the CRHR are intended to serve as the definitive criteria for assessing the significance of historical resources for the purposes of CEQA. Thus, a consistent set of evaluation criteria exist for all public agencies statewide.

The eligibility criteria for inclusion in the CRHR are referenced in CEQA guidelines Section 15064.5(a)(3) and established in PRC 5020.1(k), 5024.1, and 5024.1(g). Under these criteria, a cultural resource may be eligible for inclusion in the CRHR if it:

1. is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. is associated with the lives of persons important in our past;
3. embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. has yielded, or may be likely to yield, information important in prehistory or history.

In addition, properties that are listed in or eligible for listing in the NRHP are considered eligible for listing in the CRHR (PRC 5024.1[d][1]). Generally, properties that are less than 50 years old are not considered eligible for listing in the CRHR. However, because the CRHR regulations do not specify guidance for determining significance of such properties, the guidance offered for NRHP evaluations are typically applied.

EVALUATION OF RESOURCES

Archaeological Resources

The archaeological literature and records search conducted for the proposed project indicates that the proposed project area is not sensitive for intact prehistoric archaeological resources and historical resources because there has been a significant amount of post-1900 construction and subsequent disturbance. That construction has likely had severe impacts on the condition and integrity of earlier archaeological deposits.

Potential for Buried Prehistoric Archaeological Remains

No previously unidentified prehistoric archaeological resources were discovered as a result of the pedestrian survey. No previously recorded prehistoric cultural resources are located within the proposed project area or within a 0.5-mile radius of the proposed project area, as indicated by the records search. Due to the proposed project's location in the Delta and its proximity to a water source, some potential exists for the discovery of previously undiscovered prehistoric archaeological remains during construction activities. However, the likelihood of finding such subsurface archaeological remains intact is very low, based on the documented level of disturbance to the area.

Potential for Buried Historical Archaeological Remains

No previously unidentified historic archaeological resources were discovered as a result of the pedestrian survey. Extensive historic map and archival research has revealed that nineteenth-century American Period resources may have once been located within the proposed project area. The 1907 Sanborn Fire Insurance map depicts several residences and industrial complexes in the proposed project area. No earlier maps have been identified, even though the downtown area was established by 1850. Based on the 1907, 1917, 1927, and 1940 Sanborn Fire Insurance Maps, the proposed project area appears to be located within a portion of downtown that has been severely disturbed by development over the last 75 years, which has likely disturbed the integrity of archaeological deposits that may have been located within the proposed project area. The construction of a gas station, telephone company offices, the Pittsburgh Soda Works, and a battery service station prior to 1927 likely disturbed earlier historic archaeological features.

Architectural Resources

New York Landing Historic District

The New York Landing Historic District, originally documented in the 1981 survey, generally represents a commercial area of Pittsburg from approximately 1914 to 1930, the period of major economic growth associated with the development of the steel industry in the area.

All buildings within the District have commercial or business uses and are one-to-two stories tall. The streets within the District are on a regular grid with few alleys, and the terrain is flat. Buildings overall have shallow setbacks and no landscaping, though planted trees line the majority of streets. The buildings feature nearly exclusive use of brick, reinforced, and unreinforced concrete, with some stucco and wood. Some buildings, including approximately 35% of the contributors to the Districts, are vacant and boarded up. More than 50% of the contributors have one story.

The District is notable for its collection of commercial buildings dating from the early twentieth century and reflects the state of architectural development, especially in smaller commercial buildings and structures, throughout California and the United States at that time. In particular, the District depicts changes and continuities in commercial architecture and development from the mid teens to the late 1920s, just prior to the Great Depression, when commercial construction in Pittsburg and throughout much of the nation was thriving. Both the Depression of the 1930s and World War II would greatly alter the social fabric of the country, as reflected in the simpler and more practical architectural styling of that later period. The pre-Depression era represented the last time many small towns and cities showed pride in the community by designing prominent and stately buildings (such as the California Theater Building and the Bank of America Building within the District) alongside more subtle buildings that displayed similar stylistic yet restrained architectural elements.

Based on a visual assessment, changes to contributors within the District compared to its 1981 evaluation overall appear to be minimal to moderate. Modifications are largely in the form of window or door replacements, in addition to the repainting of exterior walls and new signage. An exception can be noted at 395 Railroad Ave. (Building No. 9), which features the addition of garage bays and new fenestration along its southern elevation. A handful of contributors, notably the National Hotel Building (Building No. 5), the California Theater (Building No. 8) and 340 Cumberland Street (Building No. 12), have had their exterior elevations improved since the 1981 documentation. Changes include new exterior paint as well as the installation of new windows and doors that are sympathetic to the historic fabric of the buildings. Although modifications to the contributors overall are minor, extensive redevelopment in the form of residential construction, beautification projects, and parking lots have occurred in close proximity to the District and have also involved the demolition of former contributors. Despite these changes and the loss of two contributors, including a key building (the Vieira Building), the District retains a good level of integrity when compared to the 1981 evaluation.

The 1981 inventory identified a total of 33 buildings within the District, of which 26 (78%) were contributors. In addition, seven vacant parcels (comprising approximately 18% of the District) were recorded. Currently, 23 of the 26 original contributors and nine vacant parcels remain within the District. Two of the former vacant parcels (located on E. Fourth Street and Railroad Avenue) have been turned into courtyards. Since 1981, a total of four buildings (three contributors and one noncontributor) have been demolished. Because 88% of the contributors are extant, the District remains intact.

Jones & Stokes concludes that overall, the District retains integrity and is intact. However, due to the passage of time since the original documentation, the integrity of individual contributors may now be compromised, due to deterioration and/or alterations made to those buildings over the years.

Character-Defining Features

The buildings within the District maintain a similarity of scale and design with detailing confined primarily to the façades. The uniformity of the construction materials (largely brick and stone) as well as building scale, proportion, and decorative elements all contribute to the visual cohesiveness of the District and are characteristic of commercial architecture of the early twentieth century.

- **Building Form:** Lots in the District are generally long and narrow. The scale of the buildings within the District is typically one to two stories high. The buildings are largely one-part (single-story) block buildings. Two-part block (two-story) buildings exhibit a street level clearly differentiated from the second story. The first floor typically includes a storefront with offices on the upper floors.
- **Building Materials:** Materials commonly used in primary construction include brick, reinforced and unreinforced, concrete, stucco, and wood. Embellishments and accent material are typically composed of tile, stone, metal, and wood.
- **Roof Form:** The buildings feature flat, parapet, or mansard rooflines with pediments and cornices.
- **Window and Door Openings:** Windows on the first floor are generally large display units. Second-floor windows are narrow rectangular wood or metal sash units often grouped in twos or threes. The upper windows tend to be multi-lights. Doors are typically recessed and are wood-frame single or double entry style with a transom. Some windows and doors are arched or feature arched tops.
- **Design Embellishments:** The simple yet ornamental design elements of the contributors commonly include straight and arched continuous string courses, segmental relieving arches, corbelled cornices, decorative spandrels, friezes, and dentil bands. Tiles and mosaic can be found on some first-floor storefronts. More prominent buildings within the District feature columns with scrollwork and figures

in relief, arched windows and decorative molding as well as other stylish ornamentation.

- **Architectural Styles:** The buildings reflect commercial architectural styles popular during the early part of the twentieth century, such as Beaux Arts, Art Moderne, Italianate, and Romanesque, and some simple Victorian Eclectic elements.
- **Street Lighting:** The historic single and double-globed street lamps throughout the District lend to the character of the neighborhood.

Scampini Building (2–4 Black Diamond Street)

The Scampini Building was constructed in 1925 and was originally owned by the Scampini family. By 1929, a bowling alley occupied the building. During the 1930s, the California Department of Employment occupied this address and remained there until the late 1940s, when the Pacific Telephone and Telegraph Company leased the building. Additional tenants included a men's retail shop, a retail shoe dealer, and a thrift shop. A religious organization last occupied the building but just recently vacated it. The Scampini family was associated with the property as late as 1979. Currently, the City of Pittsburg Redevelopment Agency owns the building (Contra Costa County Telephone Directory 1929, 1939; Polk's Pittsburg and Antioch City Directory 1949, 1957, 1966, 1978; Contra Costa County Assessor 2006).

The property does not appear to meet the criteria for listing in the CRHR as an individual resource. The building was built in the early twentieth century, during a time when the commercial district of Pittsburg was thriving and boosting the economic standing of the community. Individually, however, the building has not made a significant contribution to the history of Pittsburg region or state overall, and therefore it does not appear to meet CRHR Criterion 1. The property has been associated with several owners and occupants over time, but none are known to be significant to area history; therefore, the property does not qualify under Criterion 2. Under Criterion 3, the modest commercial structure does not qualify as significant or unique in the distinctive characteristics of a type, period, or method of construction. Even with the decorative brickwork, it is a relatively plain, functional commercial building of its period, not exhibiting any unique or outstanding decorative elements as can be found on other buildings within the District. Furthermore, the replacement of some of the original windows and the main doors with modern units changed the historic appearance of the building. In summary, because the property lacks historical and architectural significance as well as integrity, it does not meet CRHR criteria and does not qualify as an individual historical resource for the purposes of CEQA. Nevertheless, the Scampini Building adds to the cohesiveness of the District because it forms a visual bridge to the nearby Lepori Building and retains integrity as a contributor to the District (for more information on this resource, see California Department of Parks and Recreation [DPR] 523 forms in Appendix B).

IMPACTS

Criteria for Determining Impacts under California Law

According to CEQA, a project with an effect that may cause a substantial adverse change in the significance of an historical resource may have a significant impact on the environment (State CEQA Guidelines Section 15064.5[b]). CEQA further states that a “substantial adverse change” in the significance of a resource refers to the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings, such that the significance of an historical resource would be materially impaired (State CEQA Guidelines Section 15064.5[b](1)). Actions that would materially impair the significance of a historic resource are any actions that would demolish or adversely alter those physical characteristics of a historical resource that convey its historical significance and qualify it for inclusion in the CRHR or in a local register or survey that meet the requirements of PRC Sections 5020.1(k) and 5024.1(g).

Impact Assessment Methods

For this report, the proposed project was evaluated to determine its potential impact on cultural resources. In light of the fact that the Scampini Buildings is listed as a contributor to the District, Jones & Stokes evaluated the potential for the project to result in impacts on the District as a whole as well as impacts on the Scampini Building as an individual resource.

This study uses two approaches, qualitative and quantitative, to assess the integrity of the District. The qualitative approach analyzes the District based upon its integrity of location, design, materials, and association to its 1981 documentation. The quantitative approach assesses the integrity of the District based upon the percentage of remaining contributing buildings versus the original total number of contributing buildings. This method of analysis is commonly used in the field of cultural resources in part to determine the integrity of a historic district. The quantitative analysis presented in this report is based on the professional judgment of Jones & Stokes cultural resources staff, who combined have over 40 years of experience in the field.

To evaluate project impacts on the District, activities were evaluated in terms of their potential to cause the District to be decertified or delisted from the NRHP. Historic districts may be in danger of decertification if approximately 75% of the contributing structures receive substantial alterations or are demolished. Decertification is also possible if the district no longer displays the historic characteristics that make it eligible. To evaluate project impacts on individually eligible resources, activities are evaluated in terms of their potential to adversely affect qualities that convey the significance of the property.

Below is a discussion of the potential impacts of the proposed project on the District and the Scampini Building.

Impacts of Proposed Project

The District is eligible for listing in the NRHP, is listed in the CRHR and is also a local certified district. The Scampini Building is a contributor to the District, but it does not meet the criteria for NRHP or CRHR eligibility as an individual resource. The proposed project would involve the demolition of the Scampini Building, a contributor to the District. No other contributors within the District would be demolished by the proposed project.

New York Landing Historic District

Qualitative Assessment of Integrity

Construction for the proposed project would occur directly adjacent to and within a portion of the District on Block I. The Scampini Building, a contributor to the District, is located on the northwestern corner of Block I; the remaining portion of the block is largely vacant.

In general, the District retains a good degree of integrity of location, design, materials, and association to its 1981 evaluation. An important value of the District is that it is visually understandable as a historic urban commercial center: the cluster of buildings, with their distinctive architectural styles and their scale, stands in contrast to other areas of Pittsburg that contain newer or residential-style buildings. The District is able to convey a sense of time and place; the street scenes largely evoke a sense of urban life in a small city in the early twentieth century.

Much of the historic character in the vicinity of the District, however, has been lost over the past few years through ongoing development and construction of modern single-family residences, surface parking lots, and beautification projects. Some of this construction has involved the demolition of contributing properties. In addition, several buildings on Block I and directly adjacent to the Scampini Building were demolished (and not replaced) within the last 20 years, leaving a nearly vacant block. While these buildings were not contributors to the District, they lent to the overall historic feel and visual continuity of the area. In essence, these noncontributing buildings at a minimum provided a visual link between isolated contributors (including the Scampini Building) and the larger historic district. The proposed project would occur within these now vacant parcels on the outer edge of the District.

As a contributor to a District, a building should ideally retain enough physical characteristics or features (also known as integrity) to communicate its significance. The Secretary of the Interior defines the seven aspects of integrity as location, design, setting, materials, workmanship, feeling, and association (USDI National Park Service 1997). Located on a corner lot and immediately surrounded by vacant parcels and non-contributing buildings, the Scampini Building is visually isolated from the remainder of the District (Figure 4). The only arguable visual connector to the larger district is the Lepori Building, which is situated across the street to the west. As such, the Scampini Building does not convey a strong sense of

setting, feeling, and association to the New York Landing Historic District. Furthermore, the building has lost its integrity of design and workmanship (through alterations) over time. Initially lacking many of the well-defined design attributes such as those evident on the other contributors, the alterations conducted over the years have reduced the Scampini Building to a much more simplified early twentieth century building without distinction. In comparison, several other contributors within the District identified as key buildings in the 1981 study including the Liberty Hotel (Building No. 1), the National Hotel Building (Building No. 5), and the California Theater (Building No. 8) retain excellent integrity of design, materials, and workmanship. These examples also convey a strong sense of location, setting, and association as early 20th century commercial buildings, in addition to helping form a definitive and cohesive neighborhood area. Thus, these buildings represent stronger contributors to the District than the Scampini Building and as a group convey the District more cohesively than isolated buildings not retaining integrity.

Whereas the integrity of the surrounding neighborhood has already been compromised through new development, and because project construction will occur on the outer edge of the District, the District would still convey its historical significance (including the ability to convey a sense of time and place) despite the loss of the Scampini Building. Based on the above analysis, removal of the Scampini Building is a less-than-significant impact on the integrity of the New York Landing Historic District.

Similarly, construction of the Black Diamond Project would not have a significant effect on the District. Most of the proposed project is located adjacent to, but outside of, the District. Unlike new development in other areas of the city, the project includes a number of site planning and design features that complement the District. The site plan proposes urban and mixed uses, with residential uses above commercial uses along Railroad Avenue. This plan maintains the traditional commercial integrity of Railroad Avenue. The architectural styles of the building replicate the flat roof commonly found throughout the District. Commercial uses are at ground floor, with storefronts and flat stucco finishes reminiscent of materials in the District's traditional and historic buildings. Furthermore, the project would incorporate the existing streetlights located throughout Old Town Pittsburg into the development. With the mix of uses, including ground-floor commercial uses, and incorporation of traditional architectural styles and materials, the project aspires to create an energized street scene of urban life in a small city. These features complement and do not detract from the integrity of the District. Based on the above analysis, construction of the Project would have a less-than-significant impact on the District.

Quantitative Assessment of Integrity

If the number of contributing buildings substantially altered or demolished within the District reaches approximately 75% of the total number of contributors (or in this instance, approximately nine contributors out of the original 26), it is possible that the District may not retain significant integrity for listing. The loss of the Scampini Building, however, would not result in a significant impact because the District would still retain 85% of the original contributors as identified by Astone & Associates in 1981. This is well above the generally accepted contributing threshold of 75% necessary to convey significance, so the District would remain viable. Thus, the project would not significantly impact the District.

As mentioned earlier, the District lost contributors through previous projects. The loss of the Scampini Building, however, would not constitute a cumulative impact to the District, as the Scampini Building is a modest representation of early twentieth century commercial architecture, and also has lost integrity since its original 1981 documentation. No mitigation measure is necessary.

Scampini Building

The Scampini Building (2–4 Black Diamond Avenue) does not appear to meet the criteria for listing in the NRHP, nor does it meet the criteria for the CRHR as an individual resource. Removal of this building would not constitute a significant impact and would result in no substantial adverse change under CEQA. No mitigation measure is necessary.

CONCLUSIONS AND RECOMMENDATIONS

Archaeological Resources

No previously unidentified archaeological resources were discovered as a result of the pedestrian survey. Based on the lack of identified cultural resources in the project area, and the low potential for the presence of significant intact subsurface historical archaeological features and deposits, no further archaeological investigations or monitoring is recommended in the project area. In the event that an artifact or an unusual amount of bone, shell, or nonnative stone is uncovered during construction or other ground-disturbing activities work should be halted in that area so that a professionally qualified archaeologist can determine the significance of the find.

Although no indication exists that human remains may be present in the project area, a remote possibility exists that construction activities will unearth human remains. Human remains require special treatment under state laws, and disturbance of such remains would be a significant impact under CEQA. If human remains of Native American origin are discovered during ground-disturbing activities, Contra Costa County must comply with state laws relating to the disposition of Native American burials, which fall within the jurisdiction of the NAHC (PRC 5097). If human remains are discovered or recognized in any location other than a dedicated cemetery, work shall cease and the city shall not authorize further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until:

- the coroner of Contra Costa County has been informed and has determined that no investigation of the cause of death is required; and
- the descendants of any deceased Native Americans whose remains are found have made a recommendation to the landowner or the person responsible for the

excavation work as to the means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods, as provided in PRC 5097.98 (unless the NAHC is unable to identify a descendant or the descendant fails to make a recommendation within 48 hours after being notified by the NAHC).

Architectural Resources

The District and the Scampini Building are located in or directly adjacent to the proposed project area. The proposed project does not have the potential for a significant effect on the District, either on a project or a cumulative level. The Scampini Building is not individually significant nor will loss of the building significantly affect the District.

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Appendix A Correspondence

Andrea Gueyger

To: Andrea Gueyger

Subject: RE: New York Landing Historic District Supplemental EIR - Contra Costa County

Dear Ms. Pilas-Treadway,

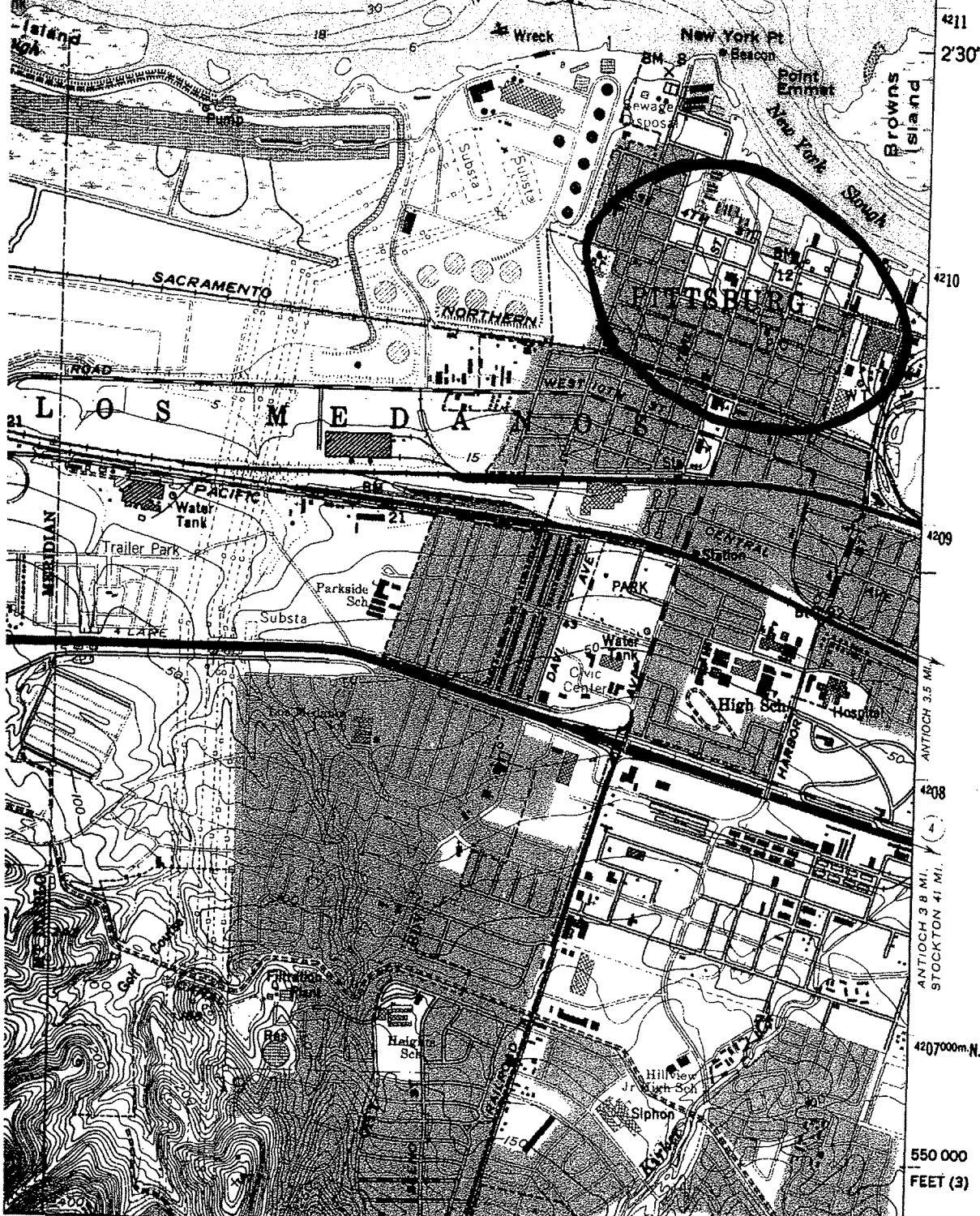
Jones & Stokes has contracted with the City of Pittsburg to conduct a cultural resources inventory for the New York Landing Historic District Supplemental EIR, in Pittsburg, Contra Costa County (see map). The project area located on the Honker Bay 7.5' topographic quadrangle, R1E and T 2N, no section number, and is marked in bold black.

We are seeking information and comments from Native American representatives and would greatly appreciate your sending me a list of those individuals that are interested in planning activities in this area. Also, please consult your inventory of sacred lands forwarding that information to us. The records search for this project area has been completed and indicates there have been no inventories conducted in the project area.

Please contact me if you have any questions about this request: 916 737-3000 ext. 3200 or at agueyger@jsanet.com. Thank you .

Andrea Gueyger
Jones & Stokes

Archaeologist
2600 V Street • Sacramento CA 95818
W: 916.737.3000 • Fx: 737.3030 • M:916.284.5195
agueyger@jsanet.com www.jonesandstokes.com



R. 1 E. 596 • INTERIOR—GEOLOGICAL SURVEY, RESTON, VIRGINIA—1988 1:600 000 FEET (3)
 CLAYTON 6.7 MI. 598000m.E. 121°52'30" 38°00"

ROAD CLASSIFICATION

- Heavy-duty ————— Light-duty —————
- Medium-duty ————— Unimproved dirt - - - - -
- State Route



QUADRANGLE LOCATION

HONKER BAY, CALIF.
 SW/4 PITTSBURG 15' QUADRANGLE
 38121-A8-TF-024

R1E, T2N, No section #

1953
 PHOTOREVISED 1980
 DMA 1680 III SW—SERIES V885

visions shown in purple and woodland compiled from
 ial photographs taken 1979 and other source data
 is information not field checked. Map edited 1980
 rple tint indicates extension of urban areas

(ANTIOCH SOUTH)
 1:500 N NE

UMS

NATIVE AMERICAN HERITAGE COMMISSION

915 CAPITOL MALL, ROOM 364
SACRAMENTO, CA 95814
(916) 653-4082
Fax (916) 657-5390
Web Site www.nahc.ca.gov



November 1, 2006

Andrea Gueyger
Archaeologist

Sent by Fax: 737-3030
Number of Pages: 5

Re: Proposed Bear Valley Village Project, New York Landing Historic District Supplemental EIR, Proposed County of Merced Minor Boundary Change

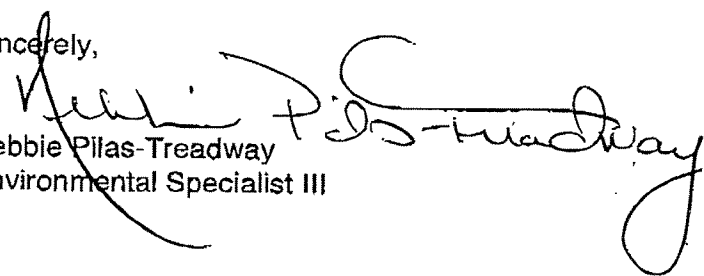
Dear Ms. Gueyger:

A record search of the sacred land file has failed to indicate the presence of Native American cultural resources in the immediate project area. The absence of specific site information in the sacred lands file does not indicate the absence of cultural resources in any project area. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Enclosed is a list of Native Americans individuals/organizations who may have knowledge of cultural resources in the project area. The Commission makes no recommendation or preference of a single individual, or group over another. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated, if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe or group. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from any of these individuals or groups, please notify me. With your assistance we are able to assure that our lists contain current information. If you have any questions or need additional information, please contact me at (916) 653-4038.

Sincerely,


Debbie Pilas-Treadway
Environmental Specialist III

Native American Contacts
Contra Costa County
October 31, 2006

Katherine Erolinda Perez
PO Box 717
Linden, CA 95236
(209) 887-3415
(209) 887-3415- fax

Ohlone/Costanoan
Northern Valley Yokuts
Bay Miwok

The Ohlone Indian Tribe
Andrew Galvan
PO Box 3152
Mission San Jose, CA 94539
chochenyo@AOL.com
(510) 656-0787 - Voice
(510) 882-0527 - Cell
(510) 687-9393 - Fax

Ohlone/Costanoan
Bay Miwok
Plains Miwok
Patwin

Trina Marine Ruano Family
Ramona Garibay, Representative
5816 Thornton Ave
Newark, CA 94560
510-300-5971 - cell

Ohlone/Costanoan
Bay Miwok
Plains Miwok
Patwin

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed New York Landing Historic District Supplement EIR, Contra Costa County.



Jones & Stokes

November 3, 2006

Katherine Perez
PO Box 717
Linden, CA 95236

Re: New York Landing Historic District Supplemental EIR, Contra Costa County

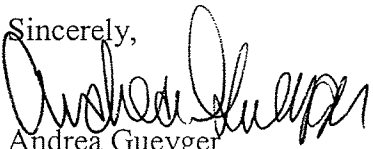
Dear Ms. Perez,

Jones & Stokes has contracted with the City of Pittsburg to conduct a cultural resources inventory for the New York Landing Historic District Supplemental EIR, in Pittsburg, Contra Costa County (see map). The project area is marked in bold black.

A records search has been conducted at the Northwest Information Center of the California Historical Resources Information System, located at Sonoma State University. No previously recorded cultural resources are recorded within the project area. Jones & Stokes has conducted an archaeological survey of the proposed project area. No cultural resources were identified as a result of this survey.

Jones & Stokes is requesting input from the Native American community regarding traditional cultural properties and other issues pertinent to this project. Any information you have regarding Native American sites or traditional cultural properties in the area would be helpful in identifying potential cultural resources issues. Please contact me at 916-737-3000, ext. 3200 or agueyger@jsanet.com if you have any questions or concerns about this project. Thank you for your attention to this matter.

Sincerely,



Andrea Gueyger
Cultural Resources Specialist

enc: map



Jones & Stokes

November 3, 2006

Ramona Garibay
Trina Marine Ruana Family
16010 Halmar Lane
Lathrop, CA 95330

Re: New York Landing Historic District Supplemental EIR, Contra Costa County

Dear Ms. Garibay,

Jones & Stokes has contracted with the City of Pittsburg to conduct a cultural resources inventory for the New York Landing Historic District Supplemental EIR, in Pittsburg, Contra Costa County (see map). The project area is marked in bold black.

A records search has been conducted at the Northwest Information Center of the California Historical Resources Information System, located at Sonoma State University. No previously recorded cultural resources are recorded within the project area. Jones & Stokes has conducted an archaeological survey of the proposed project area. No cultural resources were identified as a result of this survey.

Jones & Stokes is requesting input from the Native American community regarding traditional cultural properties and other issues pertinent to this project. Any information you have regarding Native American sites or traditional cultural properties in the area would be helpful in identifying potential cultural resources issues. Please contact me at 916-737-3000, ext. 3200 or agueyger@jsanet.com if you have any questions or concerns about this project. Thank you for your attention to this matter.

Sincerely,



Andrea Gueyger
Cultural Resources Specialist

enc: map



Jones & Stokes

November 3, 2006

The Ohlone Indian Tribe
Andrew Galvan
PO Box 3152
Mission San Jose, CA 94539

Re: New York Landing Historic District Supplemental EIR, Contra Costa County

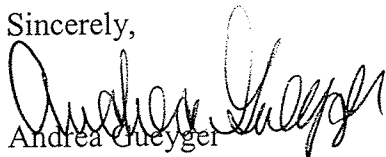
Dear Mr. Galvan,

Jones & Stokes has contracted with the City of Pittsburg to conduct a cultural resources inventory for the New York Landing Historic District Supplemental EIR, in Pittsburg, Contra Costa County (see map). The project area is marked in bold black.

A records search has been conducted at the Northwest Information Center of the California Historical Resources Information System, located at Sonoma State University. No previously recorded cultural resources are recorded within the project area. Jones & Stokes has conducted an archaeological survey of the proposed project area. No cultural resources were identified as a result of this survey.

Jones & Stokes is requesting input from the Native American community regarding traditional cultural properties and other issues pertinent to this project. Any information you have regarding Native American sites or traditional cultural properties in the area would be helpful in identifying potential cultural resources issues. Please contact me at 916-737-3000, ext. 3200 or agueyger@jsanet.com if you have any questions or concerns about this project. Thank you for your attention to this matter.

Sincerely,



Andrea Gueyger
Cultural Resources Specialist

enc: map

**Appendix B California Department of Parks and
Recreation 523 Forms**

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: Liberty Hotel

P1. Other Identifier: Building No. 1

*P2. Location: Not for Publication Unrestricted

*a. County: Contra Costa

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 200 East Third Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-091-015

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A strongly stylistic building, this two story masonry building has twin rectangular bays symmetrically located on the front façade at the second level. The rhythm of the arches are intact and the building is generally intact with its original appearance.

*P3b. Resource Attributes: (List attributes and codes) HP 5. Hotel/Motel

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northeast Elevation, 8/10/06

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both

ca 1925

*P7. Owner and Address:

Unknown

*P8. Recorded by: (Name, affiliation, and address)

Madeline Bowen and Katie Haley

Jones & Stokes

2600 V Street

Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project Pittsburg, Contra Costa County, California 2007.*

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

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Page 1 of 1

*Resource Name or #: National Block, National Hotel

P1. Other Identifier: Building No. 5

***P2. Location:** Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

***b. USGS Quad:** **Date:** T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 301 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
APN: 085-108-001

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This building was designed by Architect Motrasqua of San Francisco and constructed by Seeno and Columbo of Pittsburg for the original owners, F. Iacona, A.C. Cardinale and M. Patone. Recognized as possessing construction qualities of buildings in San Francisco at the time of its construction, the building was finished in pressed brick on a heavy concrete foundation. A two story commercial building, it is very much intact architecturally with strong and unique stylistic features.

***P3b. Resource Attributes:** (List attributes and codes) HP 6. Commercial Building

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northeast Elevation, 8/10/06

***P6. Date Constructed/Age and Sources:** Historic

Prehistoric Both
ca 1922

***P7. Owner and Address:**
Unknown

***P8. Recorded by:** (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

***P9. Date Recorded:** 8/10/06

***P10. Survey Type:** (Describe)
Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: National Dollar Store

P1. Other Identifier: Building No. 6

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 323 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-108-015

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Designed by A.W. Cornelius along with the adjacent buildings, it originally housed three separate stores. It was built by Tevanova & Caleline for its original owner, Judge James Fitzgerald. The façade of the building is generally intact.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, West Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both
ca 1924

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project Pittsburg, Contra Costa County, California 2007.*

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: California Theatre

P1. Other Identifier: Building No. 8

***P2. Location:** Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

***b. USGS Quad:** **Date:** T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 371 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-108-004

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Designed by A.W. Cornelius, and built by Seeno, the theatre opening marked a new epoch in the life of Pittsburg with people traveling from all over the country to seek entertainment. It was the grandest of all of the famous Enea family theatres. The façade is almost entirely intact except for the theatre marquee.

***P3b. Resource Attributes:** (List attributes and codes) HP 10. Theater

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, West Elevation, 8/10/06

***P6. Date Constructed/Age and Sources:** Historic

Prehistoric Both
1920

***P7. Owner and Address:**
Unknown

***P8. Recorded by:** (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

***P9. Date Recorded:** 8/10/06

***P10. Survey Type:** (Describe)
Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: Sol's Clothing Store

P1. Other Identifier: Building No. 9

***P2. Location:** Not for Publication Unrestricted

*a. County: Contra Costa

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 395 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-108-005

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A two story commercial structure vernacular in styling. The building has a slightly mansard roof cornice with the second floor window treatment having twin double-hung windows edged with plaster ornamental plasters.

***P3b. Resource Attributes:** (List attributes and codes) HP 6. Commercial Building

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Southwest Elevation, 8/10/06

***P6. Date Constructed/Age and Sources:** Historic

Prehistoric Both
ca 1920

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

***P9. Date Recorded:** 8/10/06

***P10. Survey Type:** (Describe)
Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: Greenberg Building

P1. Other Identifier: Building No. 10

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 150 East Third Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
APN: 085-108-011

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A two story commercial structure, vernacular in styling. An extremely functional structure, it was originally designed for three stores on the street level with hotel rooms upstairs. It was constructed for a total cost of \$15, 000.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northwest Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
ca 1920

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: Green Building

P1. Other Identifier: Building No. 11

***P2. Location:** Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***a. County:** Contra Costa

***b. USGS Quad:** **Date:** T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 190 East Third Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-108-010

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A single story low profile building of pressed brick, its repeated and rhythmic arches are contemporary to the Liberty Hotel, the Greenberg Building, and the National Block.

***P3b. Resource Attributes:** (List attributes and codes) HP 6. Commercial Building

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northeast Elevation, 8/10/06

***P6. Date Constructed/Age and Sources:** Historic

Prehistoric Both
1925

***P7. Owner and Address:**
Unknown

***P8. Recorded by:** (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

***P9. Date Recorded:** 8/10/06

***P10. Survey Type:** (Describe)
Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: Last Chance Building

P1. Other Identifier: Building No. 12

*P2. Location: Not for Publication Unrestricted

*a. County: Contra Costa

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 348 Cumberland Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-108-009

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A two story commercial structure, the building has a few stylistic features that suggest an earlier time. The scale and the bulk of the structure are intact.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Southeast Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both
1926

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: King Parker Building

P1. Other Identifier: Building No. 14

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 153 East Fourth Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-108-006

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The two story reinforced concrete structure was constructed by K.F. Parker Company and was the original Pittsburg location for the J.C. Penney Company. The façades of the two buildings appear continuous with the adjacent building on the east. The commercial building has certain industrial features that add to its stylistic appearance.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, South Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both

1929

*P7. Owner and Address:

Unknown

*P8. Recorded by: (Name, affiliation, and address)

Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: King Parker Building, Montgomery Ward Building

P1. Other Identifier: Building No. 15

***P2. Location:** Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 163-165 East Fourth Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-108-007

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Constructed at the same time as and a part of the adjacent J. C. Penney's Building, this building housed the first Pittsburg Montgomery Wards store. Its design and conditions are the same as Building 14.

***P3b. Resource Attributes:** (List attributes and codes) HP 7. Commercial Building

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, South Elevation, 8/10/06

***P6. Date Constructed/Age and Sources:** Historic

Prehistoric Both

1929

***P7. Owner and Address:**

Unknown

***P8. Recorded by:** (Name, affiliation, and address)

Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

***P9. Date Recorded:** 8/10/06

***P10. Survey Type:** (Describe)
Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

Page 1 of 1

*Resource Name or #: Contra Costa County Bank

P1. Other Identifier: Building No. 16

*P2. Location: Not for Publication Unrestricted

*a. County: Contra Costa

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 415 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-109-001

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The building was designed by Ben G. McDougal of San Francisco who was credited with designing numerous San Francisco Bay Area and Central Valley structures. The contractor was Cahill-Vansand Company. The building today appears to retain its original appearance. The key architectural features of the façade area are the twelve rounded smooth columns with Doric capitals attached flush with the front walls, framing the commercial window openings.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northwest Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both

1921

*P7. Owner and Address:

Unknown

*P8. Recorded by: (Name, affiliation, and address)

Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

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*Resource Name or #: Aiello Building

P1. Other Identifier: Building No. 21

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 190 East Fourth Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-109-006

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A very simple one story commercial structure depicted as simple vernacular, the building remains generally intact paralleling its original appearance.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Potograph 1, Northeast Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both

1923

*P7. Owner and Address:

Unknown

*P8. Recorded by: (Name, affiliation, and address)

Madeline Bowen and Katie Haley
Jones & Stokes

2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
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Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
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*Resource Name or #: Medi-Dental Building, Woulf & Fry

P1. Other Identifier: Building No. 22

*P2. Location: Not for Publication Unrestricted

*a. County: Contra Costa

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 485 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

ABN: 085-109-008

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

When originally constructed this two story commercial structure and uniquely designed building was characterized as an "ornament to the city." Very stylistic "moderne," the building is a key retains virtually all of its original appearance.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, West Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both
1926

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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NRHP Status Code 5D1

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*Resource Name or #: Post Office Building, Old Post Office

P1. Other Identifier: Building No. 24

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 501-509 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
APN: 085-167-001

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This mission revival one and two story structure was constructed as downtown Pittsburg's modern post office facility.

*P3b. Resource Attributes: (List attributes and codes) HP6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northwest Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both

ca 1930

*P7. Owner and Address:

Unknown

*P8. Recorded by: (Name, affiliation, and address)

Madeline Bowen and Katie Haley
Jones & Stokes

2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
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*Resource Name or #: Pittsburg Post Dispatch, Post Dispatch

P1. Other Identifier: Building No. 25

***P2. Location:** Not for Publication Unrestricted

***a. County:** Contra Costa

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS Quad:** **Date:** T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 515 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-167-007

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one story commercial structure was originally constructed for the Coast Counties Gas Company as their main Pittsburg office. Its architecture is eclectic, not necessarily an exemplar of any particular style, though the general expression is Spanish with a Moarish flavor to the arch-columns features.

***P3b. Resource Attributes:** (List attributes and codes) HP 6. Commercial Building

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northwest Elevation, 8/10/06

***P6. Date Constructed/Age and Sources:** Historic

Prehistoric Both
1924

***P7. Owner and Address:**
Unknown

***P8. Recorded by:** (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

***P9. Date Recorded:** 8/10/06

***P10. Survey Type:** (Describe)
Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
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Primary #
HRI #
Trinomial
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*Resource Name or #: Martinetti Building

P1. Other Identifier: Building No. 27

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 306 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
APN: 085-105-016

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This concrete block building is depicted in the early 1930s as it appears today with only some store front remodeling. The plain block parapet was a stylistic change that took place between 1914 and 1930.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, East Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both
ca 1900

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
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PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

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*Resource Name or #: Lazio Building, New Mecca Cafe

P1. Other Identifier: Building No. 28

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 320 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-105-009

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Planned by A.W. Seeno and constructed by his father, Albert Seeno, this one story commercial building still strongly retains its original stylistic features including a stepped parapet and ornamental columns. There has been some storefront remodeling and as late as 1978, the uncharacteristic rock veneer was added.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, East Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both
1914

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
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*Resource Name or #: Royce Building

P1. Other Identifier: Building No. 30

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 330 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-105-011

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Part of the building boom of this block in 1914, this building has retained most of the façade detailing of the original. It is still in scale and has retained its original bulk.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, East Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
1914

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

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Review Code

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*Resource Name or #: Demetrakopoulos Building

P1. Other Identifier: Building No. 31

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 360 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-105-012

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This building has a continuous façade with the adjacent building with its retained symbolic features.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, East Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
1914

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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Primary #
HRI #
Trinomial
NRHP Status Code 5D1

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*Resource Name or #: Burlessas Building

P1. Other Identifier: Building No. 33

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 10 East Fourth Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-104-009

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A vernacular two story masonry building with a plaster façade.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northeast Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both
1922

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

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*Resource Name or #: Bank of America

P1. Other Identifier: Building No. 34

***P2. Location:** Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 360 Railroad Avenue

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-104-006

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This classical structure has undergone no exterior changes to the façade. The building was designed by E.L. Norberg and G.H. Fields and Company was the builder. The building is a strikingly visual focal point of the historic district. It retains such stylistical features as an ornamental parapet, four large smooth full ornamental columns, and window trim that matches the parapet and highlights the first floor.

***P3b. Resource Attributes:** (List attributes and codes) HP 6. Commercial Building

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, East Elevation, 8/10/06

***P6. Date Constructed/Age and Sources:** Historic

Prehistoric Both
1921

***P7. Owner and Address:**
Unknown

***P8. Recorded by:** (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

***P9. Date Recorded:** 8/10/06

***P10. Survey Type:** (Describe)
Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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Primary #
HRI #
Trinomial
NRHP Status Code 5D1

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*Resource Name or #: Lepori Building

P1. Other Identifier: Building No. 38

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 510 Black Diamond Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:
APN: 085-161-007

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A strong vernacular stylistic structure, this building is prominently located to provide a subtle transition between the commercial areas to the east and northeast with the residential areas to the south and west. Its orientation is to the commercial areas with residential structures to the rear being of the same time period.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northeast Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both
ca 1924

*P7. Owner and Address:
Unknown

*P8. Recorded by: (Name, affiliation, and address)
Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project* Pittsburg, Contra Costa County, California 2007.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5D1

Other Listings
Review Code

Reviewer

Date

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*Resource Name or #: Scampini Building

P1. Other Identifier: Building No. 39

*P2. Location: Not for Publication Unrestricted
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*a. County: Contra Costa

*b. USGS Quad: Date: T 2 N R 1 E

¼ of ¼ of Sec 1 ; M.D. B.M.

c. Address: 2-4 East Fifth Street

City: Pittsburg

Zip: 94565

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 085-166-009

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Scampini Building (**Photograph 1**) is located at 2-4 Black Diamond Street at the corner of Black Diamond Street and E. Fifth Street. It sits on the outer southwestern edge of the New York Landing District and forms a visual bridge to the nearby Lepori Building (also a contributor to the District). Three non-contributing buildings are directly across the street from the Scampini Building and two vacant parcels are immediately east of the building.

The Scampini Building is a 5,500 square foot one-story rectangular building with a flat roof. It consists of unreinforced masonry and is supported by a concrete slab foundation. The façade features rectangular storefront windows with replacement metal frames. Metal-framed glass swing doors with steel transoms access two separate recessed entryways. A sign above the doors reads, "Chapel Churches Incorporated: Temple of Prayer Apostolic Church: Elder Basil A. Price, Pastor." The building's west elevation (**Photograph 2**) includes a series of original 1/1 double hung window units with decorative brick arches as well as some large metal-framed replacement windows and wood personnel doors. The south and east elevations (**Photographs 3 and 4**) are solid brick with no window or door openings as these walls historically faced up against other buildings. A string course of decorative brickwork is located on the upper portion of the building's north and west walls. Trees and street lamps front the building along Black Diamond and E. Fifth streets.

*P3b. Resource Attributes: (List attributes and codes) HP 6. Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Photograph 1, Northeast Elevation, 8/10/06

*P6. Date Constructed/Age and Sources: Historic

Prehistoric Both

ca 1925

*P7. Owner and Address:

Pittsburg Redevelopment Agency
65 Civic Avenue
Pittsburg 94565

*P8. Recorded by: (Name, affiliation, and address)

Madeline Bowen and Katie Haley
Jones & Stokes
2600 V Street
Sacramento, CA 95818

*P9. Date Recorded: 8/10/06

*P10. Survey Type: (Describe)
Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Cultural Resources Inventory Report for the Black Diamond Redevelopment Project Pittsburg, Contra Costa County, California 2007.*

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) Scampini Building

- B1. Historic Name:
- B2. Common Name:
- B3. Original Use: Commercial
- B4. Present Use: Commercial

*B5. Architectural Style: One-Part Commercial Block

*B6. Construction History: (Construction date, alterations, and date of alterations)
Built circa 1925; replacement of some of the original windows and the main doors in mid to late twentieth century.

*B7. Moved? No Yes Unknown Date: Original Location:

*B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme: Early Twentieth Century Commercial Devopment Area: Pittsburg, California
Period of Significance: ca 1925 Property Type: Commerical Building Applicable Criteria: N/A
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Scampini Building was constructed circa 1925 and was originally owned by the Scampini family. By 1929, a bowling alley occupied the building. During the 1930s, the California Department of Employment occupied this address and remained there until the late 1940s when the Pacific Telephone and Telegraph Company leased the building. Additional tenants have included a men's retail shop, a retail shoe dealer, and a thrift shop. Currently, a religious organization occupies the building (*Contra Costa County Telephone Directory* 1929, 1939; *Polk's Pittsburg and Antioch City Directory* 1949, 1957, 1966, 1978; *Contra Costa County Assessor* 2006).

The property does not meet the criteria for listing in the CRHR as an individual resource. The building was built in the early 20th century during a time when the commercial district of Pittsburg was thriving and boosting the economic standing of the community. Individually, however, the building has not made a significant contribution to the history of Pittsburg region or state overall, and therefore it does not appear to meet CRHR Criterion 1. The property has been associated with several owners and occupants over time, but none, including the Scampini family, are known to be significant to area history; therefore, the property does not qualify under Criterion 2 (see continuation sheet).

B11. Additional Resource Attributes: (List attributes and codes)

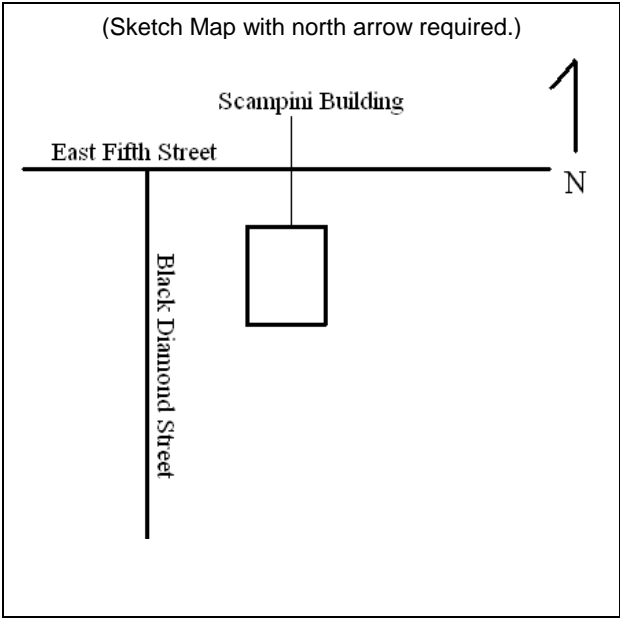
*B12. References: (see continuation sheet)

B13. Remarks:

*B14. Evaluator: Madeline Bowen

*Date of Evaluation: 8/10/06

(This space reserved for official comments.)



*Recorded by: Madeline Bowen

*Date: 8/10/06

Continuation Update

B10. Significance Continued:

Under Criterion 3, the modest commercial structure does not qualify as significant or unique in the distinctive characteristics of a type, period, or method of construction. Even with the decorative brickwork it is a relatively plain, functional commercial building of its period not exhibiting any unique or outstanding decorative elements as can be found on other buildings within the District. Furthermore, the replacement of some of the original windows and the main doors with modern units changed the historic appearance of the building. In summary, because the property lacks historical and architectural significance as well as integrity, it does not meet CRHR criteria as an individual historic resource for the purposes of CEQA; however, the Scampini Building adds to the cohesiveness of the New York Landing District as the building forms a visual bridge to the nearby Lepori Building and retains integrity as a contributor to the District.

B12. References:

The Pacific Telephone and Telegraph Co., *Contra Costa County Telephone Directory*, 1929, 1939 (On file at the California State Library).

R. L. Polk and Co., *Polk's Pittsburg and Antioch City Directory* 1949, 1957, 1966, 1978 (On file at the California State Library).

Contra Costa County Assessor's Office Records, 2006.

Photographs:



Photograph 2. Scampini Building, West Elevation



Photograph 3: Scampini Building, South Elevation



Photograph 4: Scampini Building, East Elevation

Appendix B

1981 Astone and Associates Report

NEW YORK LANDING
HISTORIC DISTRICT
Pittsburg, California

APPLICATION FOR
LOCAL CERTIFIED HISTORIC DISTRICT

Submitted By
City of Pittsburg

Historic Preservation Consultant

Edwin S. Astone
Astone & Associates
928 Second Street
Old Sacramento, California
(916) 446-1472

08/26/87

C O N T E N T S

Submittal Letter

Introduction

History of City

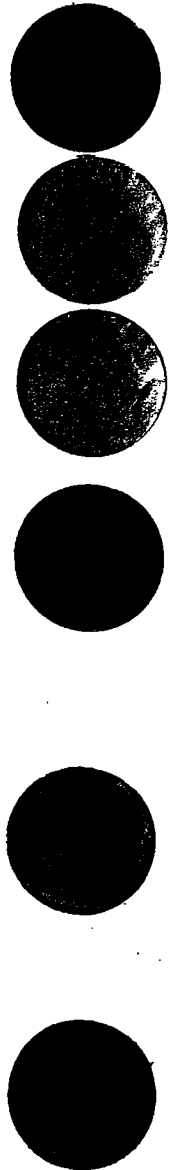
Description of The District

Statement of Significance

Historic Preservation and District Ordinance
Summary
Ordinance
Exhibits

Building/Parcel Description
Contributing Building
Non Contributing Building
Vacant Parcels

Photographs
Photo Log
Photo Key
Photographs



INTRODUCTION

The downtown and adjacent area of the City of Pittsburg was designated as the Riverside Mall Urban Renewal Project with the Redevelopment Plan being approved June of 1970, and was later modified in 1972.

During the mid and late 1970's, the primary emphasis was placed on project planning, land acquisition of the project area north of East Third Street and disposition for development on this vacant land.

As the commercial buildings in the older business district continued to be under-used with many becoming vacant, an energetic group of concerned citizens, many of whom were downtown property owners, organized the New York Landing Association to study the area.

Included in their efforts was fund raising to assist in the planning of their activities. The funds raised enabled the Association to retain a consultant to assist them in their efforts.

The firm of Astone & Associates, Urban Revitalization/Historic Preservation, Sacramento, was contracted with to assist the Association and the City in analyzing the opportunities and the constraints of a locally certified historic district as a revitalization mechanism.

This application for The New York Landing Historic District as a Local Certified Historic District is the result of this Association/City/Consultant effort.

It includes the City historic preservation ordinance which serves as the enabling ordinance providing for the designation of not only individual buildings of significance as landmarks, but also groupings of buildings of significance as historic districts.

HISTORY OF CITY OF PITTSBURG

The earliest recorded history of Pittsburg starts in the year, 1839, at a time when the still-new nation in the East, which was then creeping westward, was seriously debating the slavery question: the prelude to a great civil war.

That year the Mexican government granted almost 10 thousand acres--called Rancho Los Medanos--to Jose Antone Mesa and Miguel Jose Garcia. Ten years later, they had mortgaged or sold most of the land and Pittsburg's first real estate developer, Col. J. D. Stevenson, arrived from New York. He eventually owned or controlled much of Rancho Los Medanos. Stevenson hired a young lieutenant of the Army Engineers to lay out the little town which was named New York of the Pacific. The first Post Office in Contra Costa County was established here in 1849.

Predating Col. Stevenson's arrival by just two years, Charles N. Wright came here in the spring of 1847 and is credited with being the first American settler.

Most of the buildings in the new town were built by Joseph and W. W. Smith, who were hired by Col. Stevenson. The Smiths built a house for their two families and called it "New York House". It later became a family hotel. With the discovery of gold in California, the little community became an overnight stopping place for miners on their way to the gold fields and sail vessels enroute to inland towns with supplies.

The town grew and its name was changed to New York Landing. The young army lieutenant, William Tecumseh Sherman, who laid it out, went on to fame as a civil war general.

Col. Stevenson eventually sold his interests to a banking firm in San Francisco, which in turn sold to L. L. Robinson, one of the pioneer railroad builders. Upon his death, the property went to his sister, Mrs. Tot Cutter (for whom Cutter Street was named) and she in turn sold to the C. A. Hooper Company.

Charles A. Hooper--a Union Army veteran of the Civil War--together with his brother George, created a huge cattle and grain ranch out of the property, one of the most famous in Early California. There were still more wild horses grazing among the tule than there were people.

Then, in 1855, the discovery of coal in the hills three miles south of New York Landing brought many people to the new city--mostly of Welsh extraction. There were certainly more coal miners in town than gold miners--and they could afford to eat more regularly than gold miners too! A railroad was laid from the mines to the river, along the route of what is now Railroad Avenue. The cars were drawn by horses at first. The town was later renamed Black Diamond in honor of the new source of wealth.

Others were more successful. On December 22, 1859, at a distance of 3½ miles west of Horse Haven Valley, Francis Somers and James T. Cruikshank discovered coal. Coal mining rapidly became one of the most important industries in Contra Costa County. Four towns grew up around the mines: Somersville, Nortonville, Black Diamond, (formerly New York Landing), and--to a great extent, Antioch.

The first organized school in the New York of the Pacific District started in a small dwelling house that was moved down from the mines on a flat car and deposited upon a lot...which had been secured by telling the owner that a livery stable was to be erected upon it. The first school was located where the Wells Fargo American Trust parking lot now exists, near the corner of Fifth and Railroad.

The sons of sunny Italy and Sicily were among the influx of 1850 arrivals. In the early 1870's the first immigrant from Isola Della Femmine settled here.

Peter Aiello came to the new world bringing a shipment of lemons. He landed in New Orleans and went to work in the oyster fields. Not happy there, Aiello moved on to San Francisco and there heard about the excellent fishing around New York Landing. He came here by train from the city and started fishing. Aiello stayed four years, then went back to Italy for his family, with word of the wonderful fishing here. In a few years there was a large Italian settlement and Pittsburg's fishing industry grew.

By 1882, Black Diamond was now a canning center. Many Chinese were hired to help fashion the cans by hand with tin snips and soldering iron.

In 1906, Columbia Geneva Steel had its inception. By 1910, it was in operation, covering 20 acres and employing 60 persons. In 1930, Columbia Steel became a subsidiary of United States Steel.

The impact of the steel mill brought about a change of name for the town. By popular vote on February 11, 1911, the name was changed from Black Diamond to Pittsburg, after the eastern birthplace of the steel industry, but dropping the "h" for simplified spelling.

Stockton Fire Brick Company erected a plant two miles west of Pittsburg in 1929-30. It was the largest fire clay refractories plant west of the Missouri River. In 1943, the name was changed to Gladding McBean Company and later to International Pipe and Ceramics Corp.

The first bank in Pittsburg was founded January 1, 1904, with a capital of \$50 thousand. In 1924, the bank was taken over by Mercantile Trust Company and in 1927, merged with American Trust Company. In 1960, the name changed to Wells Fargo American Trust Company, following another merger. Pittsburg's second bank was the First National, started in 1919 with capital of \$100 thousand. In 1927, the bank was taken over by the Bank of Italy, which in 1930 became the Bank of America.

Description of the District

The waterfront area around the turn of the century was a rich combination of industrial/commercial facilities reflecting a dependence on the water for trade and for transportation. Nearby, residential neighborhoods flourished in concert with the economic trade.

Retailing moved away from the waterfront area and became centered in the area of Third, Fourth and Fifth Streets, with the center of the downtown area shifting from lower Black Diamond Street to Railroad Avenue. Used extensively as the railroad right of way, as well as a public street, Railroad Avenue became the center of commerce, being the location of several banks as well as the center of retailing with department and specialty stores.

Traditional with cities throughout the country, newer and more convenient commercial areas were developed causing the older business centers to decline not only in the minds of the Pittsburg community but a physical deterioration as well.

In the 1960's and 70's at the waterfront, an active program of "redevelopment" was planned and implemented, resulting in the demolition of all of the commercial and industrial facilities from Third Street north, and all of the adjacent residential neighborhoods.

Remaining and still amazingly in-tack is the older business center comprised of thirty three (33) pre-1930 commercial structures.

This concentration evolves into a continuing extension of several blocks of older commercial structures circa 1940-50.

The original street pattern has remained in-tack and has seen some attempts of urban beautification (street trees) along Third Street and Railroad Avenues.

The area has become visually impaired by vacant land, abandoned buildings, inappropriate remodeling and building alterations and demolition of original structures.

Statement of Significance

The existing buildings reflect a time of historic development in the City of Pittsburg. The concentration of commercial structures portrays the economic progress of the turn of the century through the 1920's.

To date, there has been little, if any, individual building preservation activity and a total lack of any organized public preservation/rehabilitation/restoration effort.

The variety of downtown structures, the heritage of numerous decades, reflects a different sense of size and scale than do many contemporary buildings currently constructed to house commerce and retailing. The scale of these earlier downtown buildings and their function are small as compared to the major store retailing now located in outlying areas. There is a strong feeling of time and place manifested by the cohesive architectural styling of the existing buildings. Original full block fronts are still remaining. There is an unusually high percentage of significant or contributing buildings within the area. Of the total 33 buildings, 27, or 79% are contributors with the remaining being non-contributors. There are no intrusions. In addition, there are only seven vacant parcels comprising only approximately 13% of the total area within the concentration of older buildings.

The boundaries of this area have been defined by a combination of vacant parcels and specific times in history. An arbitrary time benchmark of 1930 forms a district boundary line to be drawn generally along East Fifth Street as that was the extent of the commercial area developed in the late 30's.

There are key buildings and building concentrations that not only distinguish the area locally and from the surrounding buildings, but also distinguish the area on a regional basis.

Key Buildings

1. Liberty Hotel
2. National Hotel
3. California Theater
4. Vieira Building
5. Pittsburg Post Dispatch Building
6. Medico-Dental Building
7. Bank of America
8. Lazio Building

Building Concentration

1. South side of East Third Street between Railroad Avenue and Cumberland Street
2. East side of Railroad Avenue between East Third and East Fifth Street
3. East Fourth Street between Black Diamond Street to East of Cumberland Street

The district compares favorably with other older business centers throughout the West. However, unlike other towns and cities that have a similar concentration of older buildings, but also have some active element of preservation activity, this district represents the only potential organized preservation/rehabilitation potential throughout the Pittsburg community.

SUMMARY

City of Pittsburg, Historic Preservation Ordinance

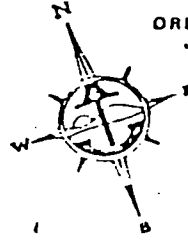
Ordinance 81-815 of the City of Pittsburg serves as not only the historic preservation ordinance for the entire City of Pittsburg, but also designates a portion of the downtown area the New York Landing Historic District.

Key salient elements of the ordinance are as follows:

- a) Historic Resource Commission: establishes this five member commission which serves as the design review body.
- b) Designation: establishes procedures and criteria for the designation of individual buildings as landmarks and groupings of buildings as historic districts.
- c) Historic Resource Permit: establishes procedures and criteria for the issuance of a permit for the alteration of designated buildings.
- d) Historic District and Design Review Area: designates a portion of the downtown area as the New York Landing Historic District and establishes the area adjacent to the historic district as a design review area because of its proximity to and influence on the historic district.

NEW YORK LANDING HISTORICAL DISTRICT BOUNDARY

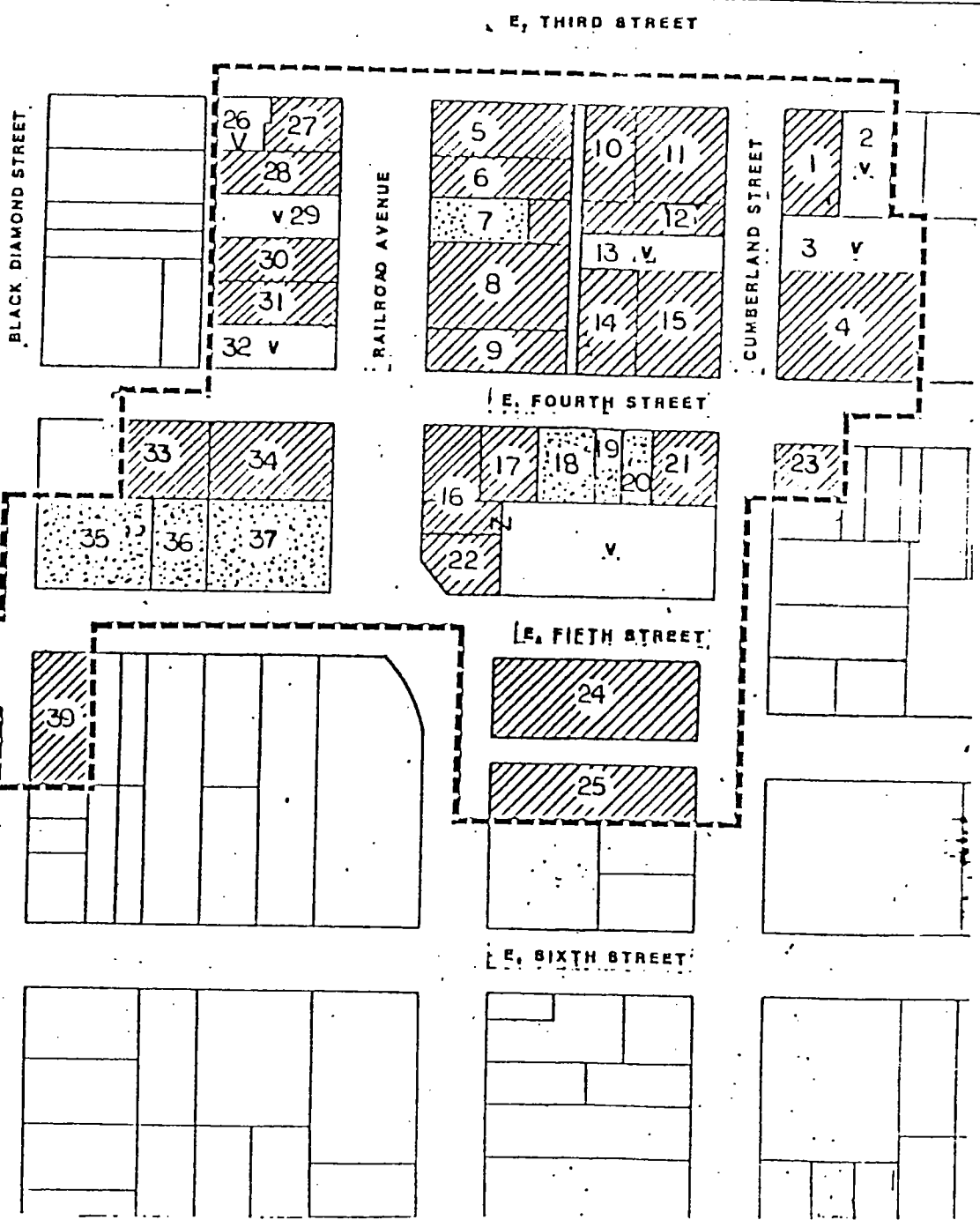
ORDINANCE NO. 81-815
7-8-81
EXHIBIT "A"



SCALE 3/4" = 100'

Legend

- District Boundary
- Contributing Building
- Non-contributing Building
- Vacant Land



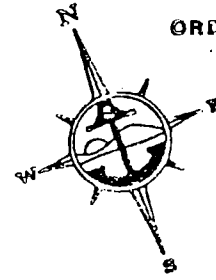
MARINA

MARINA B

NEW YORK LANDING HISTORICAL DISTRICT BOUNDARY





ORDINANCE NO. 81-

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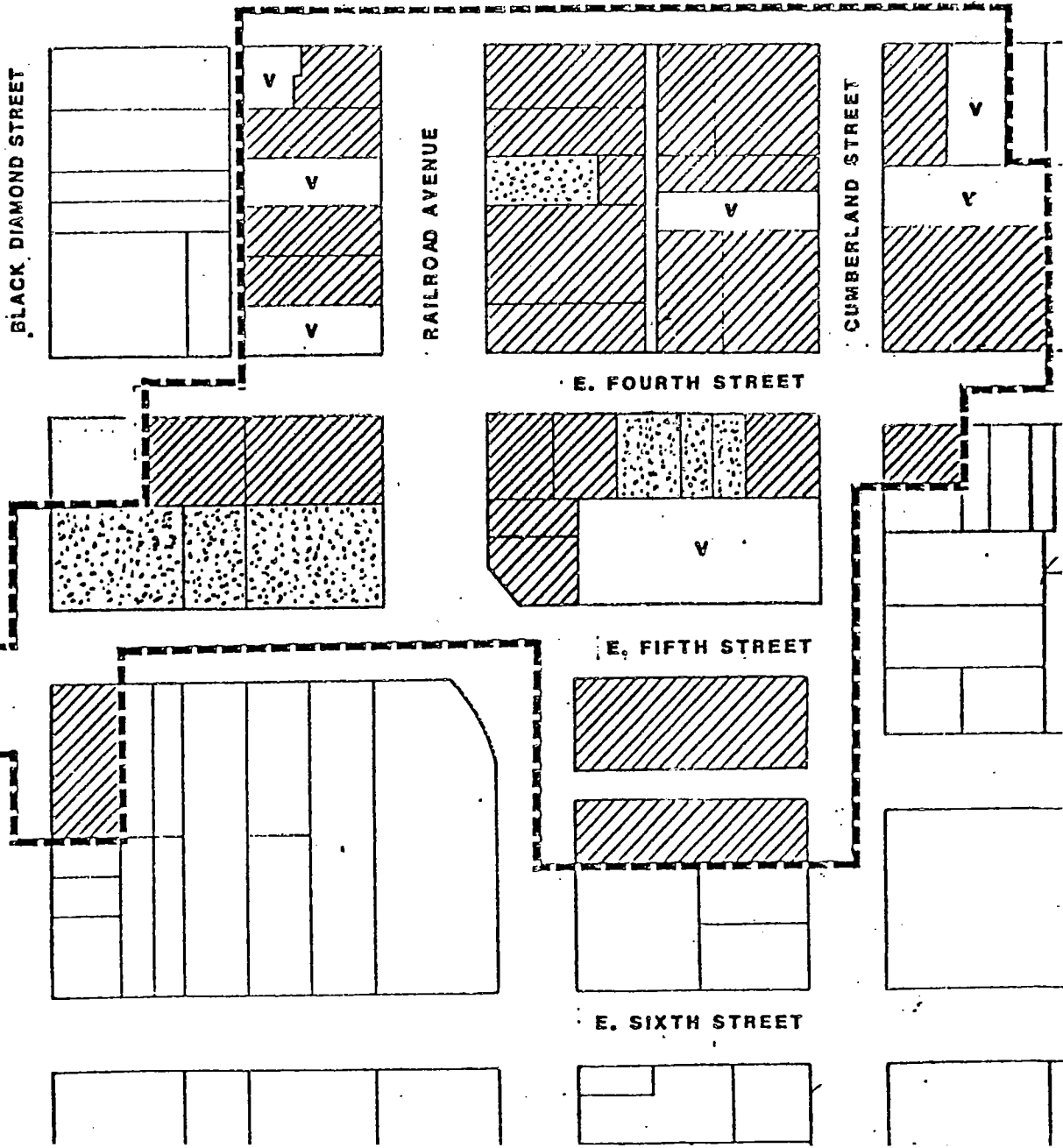


SCALE 3/4" = 100'

Legend

-  District Boundary
-  Contributing Building
-  Non-contributing Building
-  Vacant Land

E. THIRD STREET



E. FOURTH STREET

E. FIFTH STREET

E. SIXTH STREET

NEW YORK LANDING

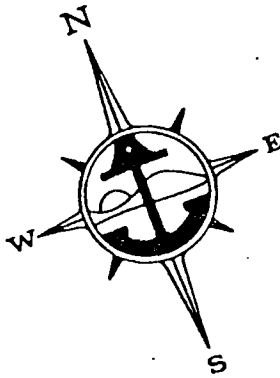
HISTORICAL DISTRICT

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EXHIBIT "B"

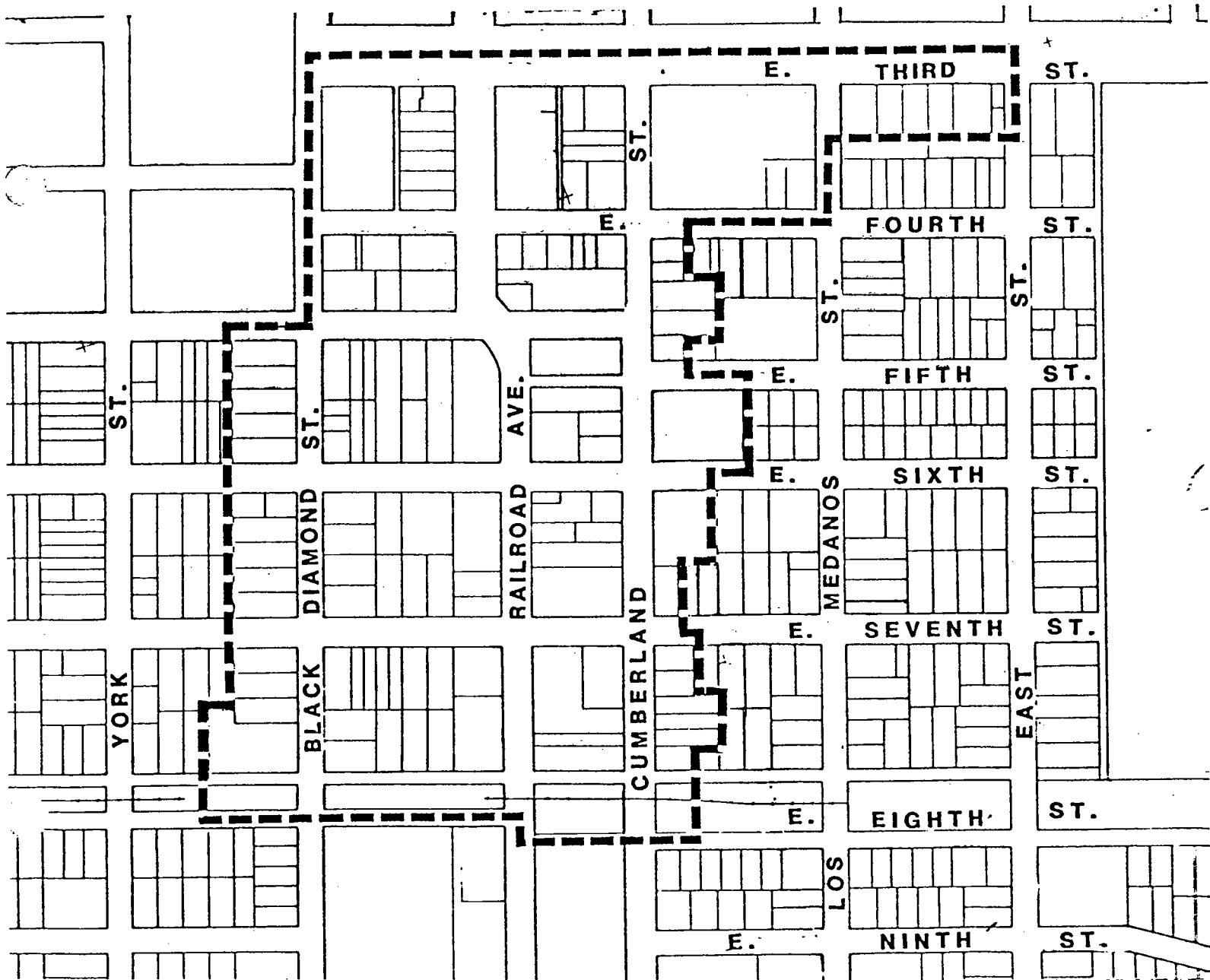
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6-15-81

LEGEND

--- DESIGN REVIEW BOUNDARY



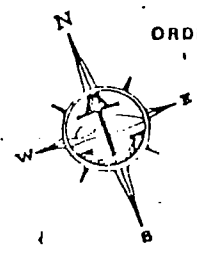
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MARINA BLY

NEW YORK LANDING HISTORICAL DISTRICT BOUNDARY

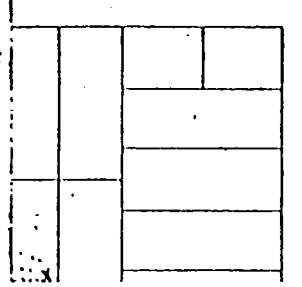
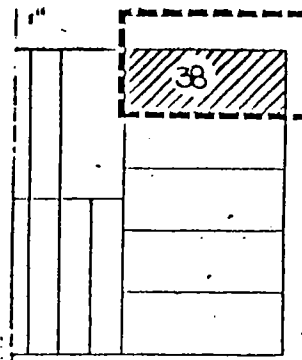
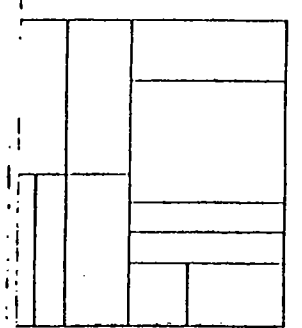
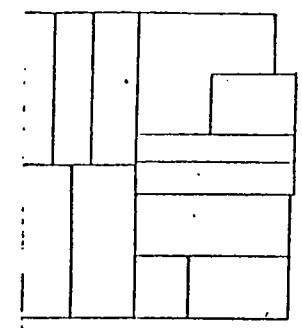
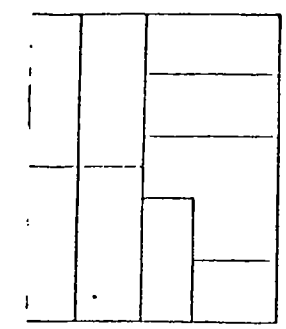
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EXHIBIT "A"



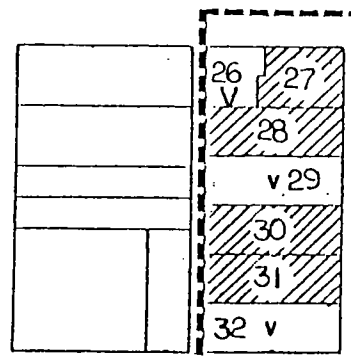
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Legend

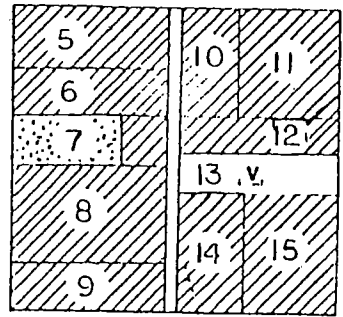
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- Contributing Building
- Non-contributing Building
- Vacant Land



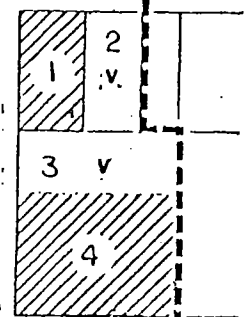
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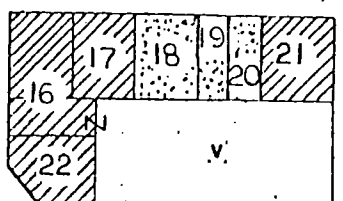
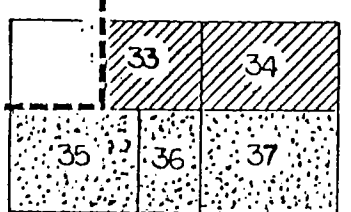
RAILROAD AVENUE



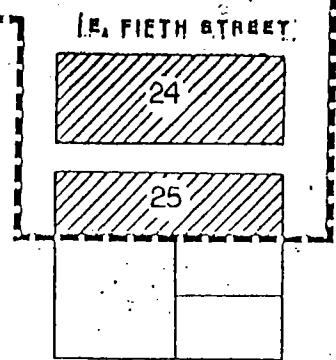
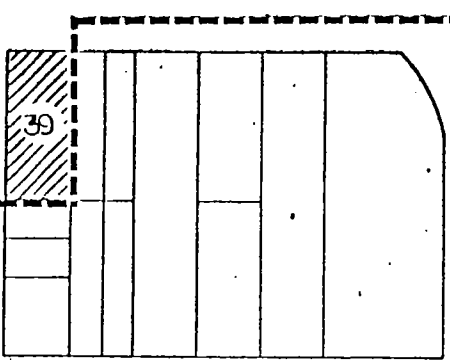
CUMBERLAND STREET



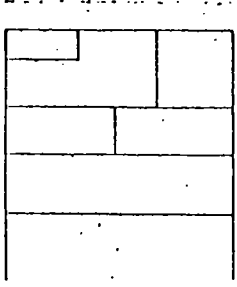
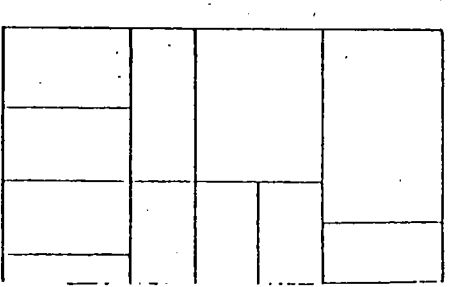
E. THIRD STREET



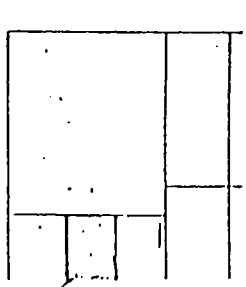
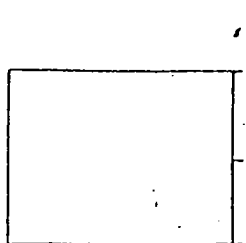
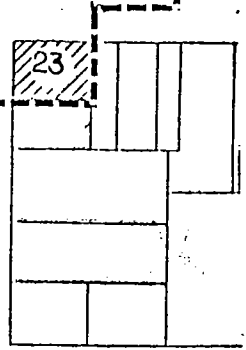
E. FOURTH STREET



E. FIFTH STREET



E. SIXTH STREET



Historic and Architecturally Significant Buildings Contributing
to the New York Landing Historic District

Building #

1. Liberty Hotel Circa 1925
200 East Third Street

A strongly stylistic building, this two story masonry building has twin rectangular bays symmetrically located on the front facade at the second level. The rhythm of the arches are intact and the building generally intact from its original appearance.

4. Woolworth Building Circa 1929
201 East Fourth Street

Masonry corner building with plaster facades with some alteration to store fronts in 1940's. Building retains original character of size and configuration. Originally constructed by C. L. Hoffman of Oakland, was occupied by Monarch Furniture and later by Woolworths, serving as a strong retail connection between Montgomery Wards (Building #15) and Penney's (demolished).

5. National Block Circa 1922
301 Railroad Avenue

Designed by Architect Motropasqua of San Francisco and constructed by Seeno and Columbo of Pittsburg for the original owners, F. Iacona, A. C. Cardinale and M. Patone. Recognized as possessing construction qualities of buildings in San Francisco at that time, the building was finished in pressed brick on a heavy concrete foundation. A two story commercial building is very much intact architecturally with strong and unique stylistic features.

6. National Dollar Store 1924
323 Railroad Avenue

Designed by A. W. Cornelius along with the adjacent buildings, originally housing three separate stores. Built by Tevanova & Caleline for the original owner Judge James Fitzgerald. The building has undergone some store front remodeling but generally the facade is intact and highly complimentary to the adjacent National Block Building.

8. California Theater 1920
371 Railroad Avenue

Designed by A. W. Cornelius, and built by Seeno, the theater opening marked a new epoch in the life of Pittsburg with people traveling from all over the country to seek entertainment. It was the grandest of all of the famous Enea family theaters. The facade almost entirely intact except for theater marquee. This is one of the key cornerstones of the historic district.

9. Sol's Clothing Store Circa 1920
395 Railroad Avenue

Two story commercial structure venacular in styling with some store front remodeling resulting in a slightly altered appearance. The building has a slightly mansard roof cornice with the second floor window treatment having twin double-hung windows edged with plaster ornamental pilasters.

10. Greenberg Building 1925
150 East 3rd Street

Two story commercial structures, venacular in styling with little if any remodeling or alterations. An extremely functional structure it was originally designed for three stores on the street level with hotel rooms upstairs. It was constructed for a total cost of \$15,000. The building, along with the other Third Street buildings forms one of the key streetscapes of the historic district.

11. Green Building 1925
190 East Third Street

A single story low profile, of pressed brick, its repeated and rhythmic arches are contemporary to the Liberty Hotel, the Greenberg Building and the National Block and as such it is an important part of the overall streetscape significance.

12. Last Chance Building 1926
348 Cumberland

Two story commercial structure the building has a few stylistic features that suggests an earlier time. There has been some store front remodeling. The scale and the bulk of the structure are intact.

14. King Parker Building 1929
153 East Fourth Street

The two story reinforced concrete structure was constructed by K. F. Parker Company and was the original Pittsburg location for the J. C. Penney Company. The facade of the two buildings appears continuous with the adjacent building on the east. The commercial building has certain industrial features that add to its stylistic appearance.

15. King Parker Building 1929
163 East Fourth Street

Constructed at the same time as and a part of the adjacent Penney's Building, this building housed the first Pittsburg Montgomery Wards store. Its design and conditions are the same as Building #14.

16. Contra Costa County Bank 1921
415 Railroad Avenue

Designed by Ben G. McDougall, San Francisco, who has been credited with designing numerous San Francisco Bay Area and Central Valley key structures. The contractor was Cahill-Vansand Company. The building today retains a presentation of its original appearance. The exterior has undergone only very minor changes. The key architectural features of the facade are the twelve rounded smooth columns with Doric capitals attached flush with the front walls, framing the commercial window openings.

17. Wisemans 1920
124 East Fourth Street

Two story commercial masonry structure with exposed brick facade with plaster/concrete ornamental date plaque. Was originally constructed as a prime retail commercial facility on the street level. The second floor became a popular downtown entertainment center as a dance hall. The first floor street frontage has been altered but the majority of the facade is still intact.

21. Aiello Building 1923
190 East Fourth Street

A very simple one story commercial structure depicted as simple venacular the building remains generally intact today from its original appearance. The building was altered in 1963 which is when a lightweight metal awning was added. The building completes an existing four corner building feature of the historic district.

22. Medico-Dental Building 1926
485 Railroad Avenue

When originally constructed this two story commercial structure and uniquely designed building was characterized as an "ornament to the City". Very stylistic "moderne", the building is a key landmark and cornerstone to the historic district, retaining virtually all of its original appearance. It presents a strong focal point at the large key corner of the older downtown area.

23. Vieira Building 1928
411 Cumberland

This one story exposed masonry commercial structure forms a strong corner presentation with the other three corner buildings. In addition to the fully exposed corner square column, the buildings other stylistic features are the raised ornamental and symmetrical parapet with modified mansard. The building has undergone some store front remodeling but the corner presentation of the building is generally intact.

24. Post Office Building Circa 1930

This mission revival one and two story structure was constructed as downtown Pittsburg's modern post office facility. The building is a strong good neighbor to the adjacent Post Dispatch Building and is part of the strong transition from the construction of 1920's buildings to the later commercial buildings of the 40's and 50's.

25. Pittsburg Post Dispatch 1924
515 Railroad Avenue

This one story commercial structure was originally constructed for the Coast Counties Gas Company as their main Pittsburg office. Its architecture is eclectic, not necessarily an exemplar of any particular style, though the general expression is Spanish with a Moarish flavor to the arch-columns features. It serves as a strong transition building between the concentration of 1920 buildings to the north and the later commercial buildings to the south of the 40's and 50's.

27. Martinetti Building 1914
306 Railroad Avenue

This concrete block building is depicted in the early 1930's as it appears today with only some store front remodeling. The plain block parapet was a stylistic change that took place between 1914 and 1930. Its simple stylistic features assist the building in not only being a good neighbor to the adjacent Lazio Building but helps the transition between the new redevelopment/marina area and the key historic buildings within the district.

28. Lazio Building 1914
324 Railroad Avenue

Planned by A. W. Seeno and constructed by his father, Albert Seeno, this one story commercial building still strongly retains its stylistic features including a stepped parapet and ornamental columns. There has been some storefront remodeling and as late as 1978, the uncharacteristic rock veneer was added.

30. Royce Building 1914
~~356~~ Railroad Avenue
330

Part of the building boom of this block in 1914, this building has retained most of the facade detailing original. It is still in scale and has retained its original bulk. Helps to present a full block presentation of the 1914's with two vacant parcels and no intrusions or non-contributing buildings.

31. Demetrakopulos Building 1914
~~368~~ Railroad Avenue
360

This structure is immediately adjacent to Building #30. It has a continuous facade with the adjacent building with its retained symbolic features.

33. Burlessas Building
10 East Fourth Street

1922

A venacular two story masonry building with plaster facade the building is a strong transition building between the redevelopment area to the west, the vacant block out of the district to the north and the concentration of key historic buildings in the historic district. Very minor store front alterations are in evidence on the building.

34. Bank of America
430 Railroad Avenue

1921

This classical structure has undergone no exterior changes to the facade. The building was designed by E. L. Norberg and G. H. Fields and Company was the builder. The building is a strikingly visual focal point of the historic district. It retains such stylistical features as an ornamental parapet, four large smooth full ornamental columns, window trim that matches the parapet highlights the first floor.

38. Lepori Building
510 Black Diamond

Circa 1924

A strong venacular stylistic structure, this building is prominently located to provide a subtle transition between the commercial areas to the east and northeast with the residential areas to the south and the west. It's orientation is to the commercial areas with residential structures to the rear being of same time period. Some storefront remodeling has occurred.

39. Scampini Building
24 East Fifth Street

1925

This structure is a good neighboring building to the Lepori Building (Building #38). A one story brick building best classified as venacular, it gains its prominence by being part of an earlier functional whole. The building was first used as a bowling alley and later a variety of retail stores.

Buildings located within the New York Landing Historic District that are non-contributing to the historic significance of the district.

- #7. Reeves Building Circa 1930
313 Railroad Avenue

A severely altered one story commercial building, located between two of the key buildings, constructed in the historic period, capable of being considered a contribution with extensive renovation of the storefront.

- #18. Demetropulos Building Circa 1927
140 East Fourth Street

Severly altered into two storefronts, this building has some existing characteristics that provide for the opportunity of this building being considered a contributing building with sensitive rehabilitation of the storefront.

- #19. De Metro Building Circa 1930
150 East Fourth Street

A one story commercial building that has undergone severe storefront alterations. With sensitive rehabilitation based on district design criteria, the building could possibly become a contribution.

- #20. Chambers Building Circa 1930
160 East Fourth Street

A one story commercial building that has undergone severe storefront alterations. With sensitive rehabilitation based on district design criteria, the building could possibly become a contribution.

- #35. Hollander Building 1948
19 East Fifth Street

One story, four unit commercial building, constructed in the 1940's, very plain, franchise modern in character.

- #36. Service Hardware 1948
45 East Fifth Street

One story, franchise modern in character, similar in character to buildings outside of the historic district constructed in the 40's and the 50's.

#37. Buchanan's Building
446 Railroad Avenue

1923

One story commercial structure, altered from its original appearance by an overlay of clapboard and stucco. This added siding masks a series of double windows separated by reinforced concrete face with a design that includes rhythmically spaced columns, supporting a simple entablature and raised parapet. The building was designed by A. W. Cornelius. With the siding removed and with sensitive rehabilitation, the building can easily be considered a contribution.

Vacant Parcels

#2.
#3.
#13.
#26.
#29.
#32.

PHOTO LOG

<u>Photo</u>	<u>Direction</u>	<u>Buildings Shown</u>
1	South	1, 11, 10, 5, 27
2	South	1
3	West	21, 20, 19, 18, 17, 16, 34, 33
4	South East	23
5	North West	14, 15
6	North	21, 15, 23, 4
7	South East	25
8	North	22
9	South East	24, 25
10	North West	37, 34
11	West	37, 34, 33
12	East	8
13	South West	27, 28, 30, 31, 34
14	South East	5, 6
15	South East	33, 34, 16, 17, 18
16	South	33
17	South East	39
18	West	38

PHOTO KEY

NEW YORK LANDING HISTORICAL DISTRICT BOUNDARY

ORDINANCE NO. 81-813
7-8-81
EXHIBIT "A"

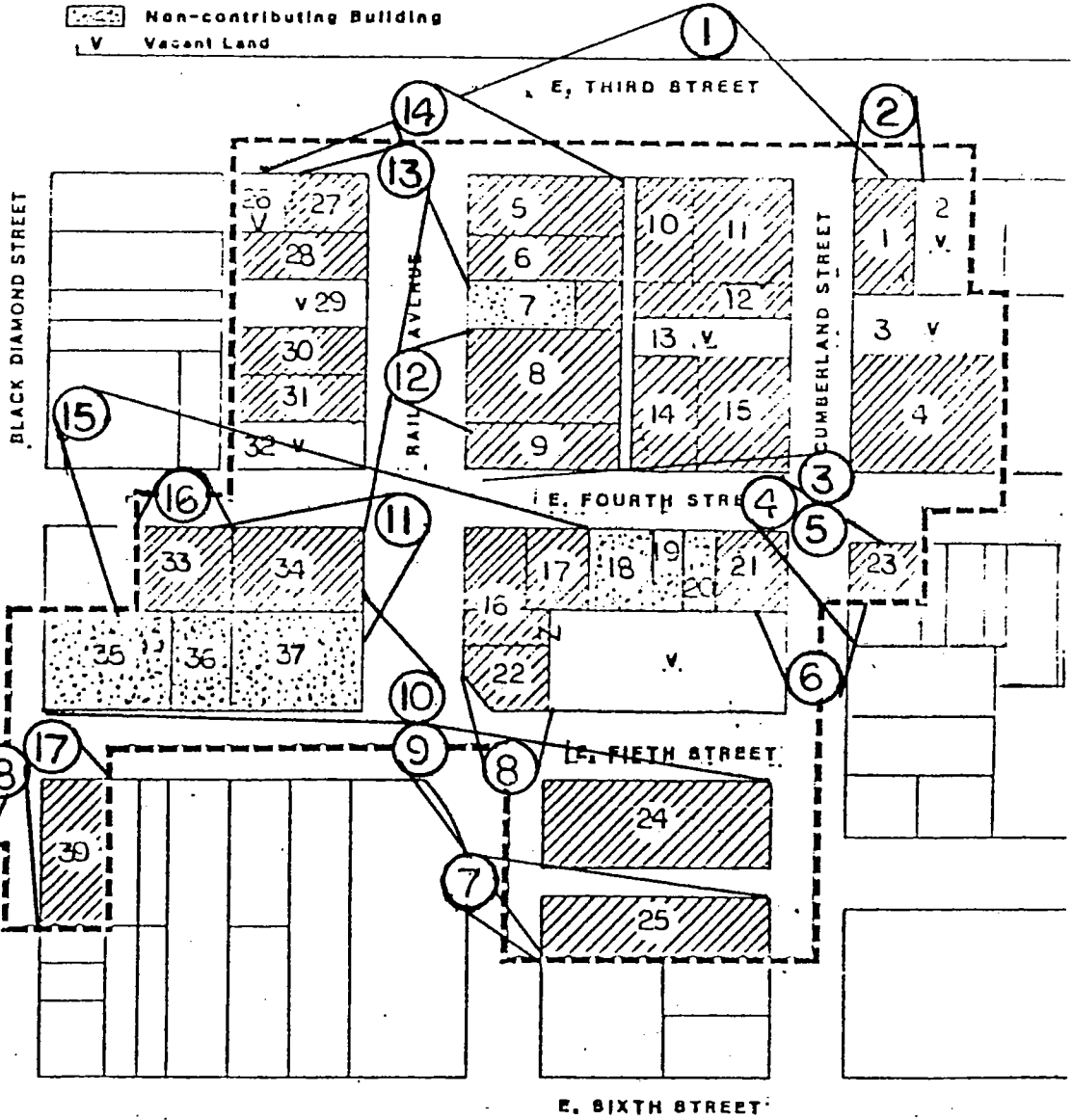
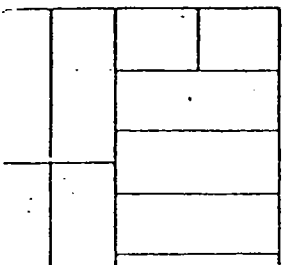
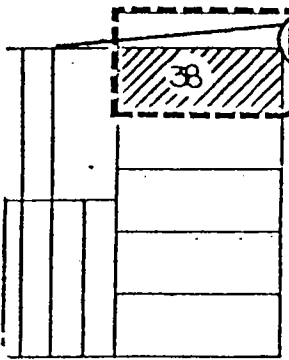
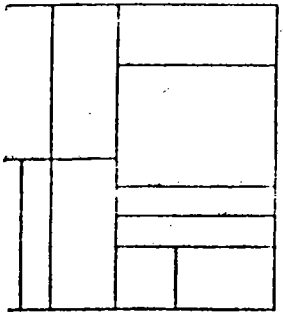
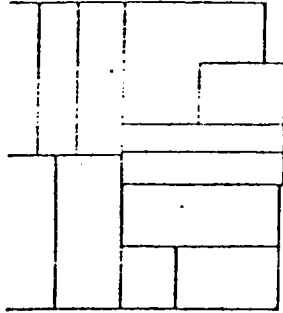
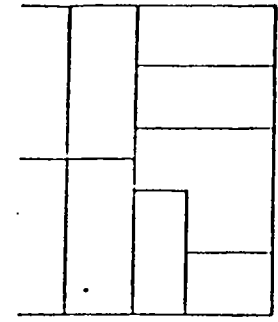


SCALE 3/4" = 100'

MARINA BL

Legend

- District Boundary
- ▨ Contributing Building
- ▤ Non-contributing Building
- v Vacant Land



BLACK DIAMOND STREET

RAIL AVENUE

CUMBERLAND STREET

E. THIRD STREET

E. FOURTH STREET

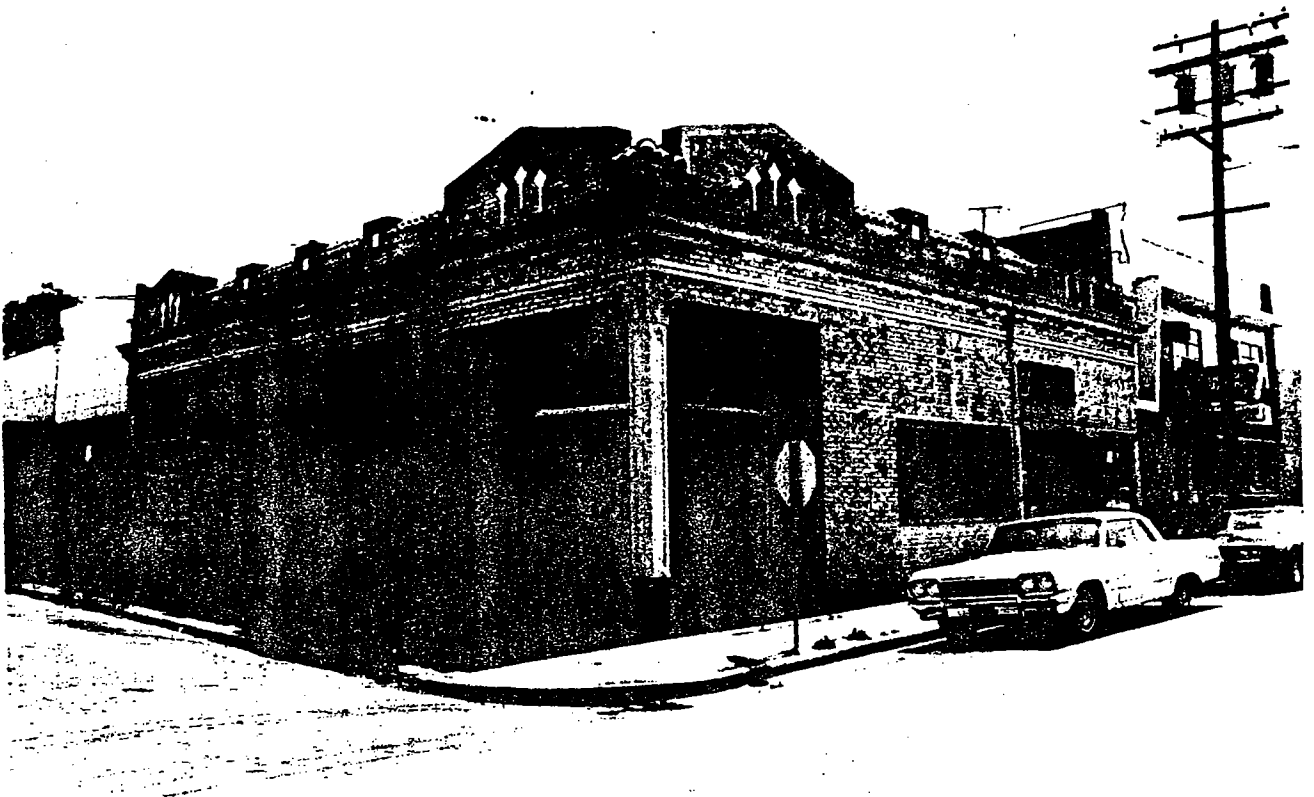
E. FIFTH STREET

E. SIXTH STREET



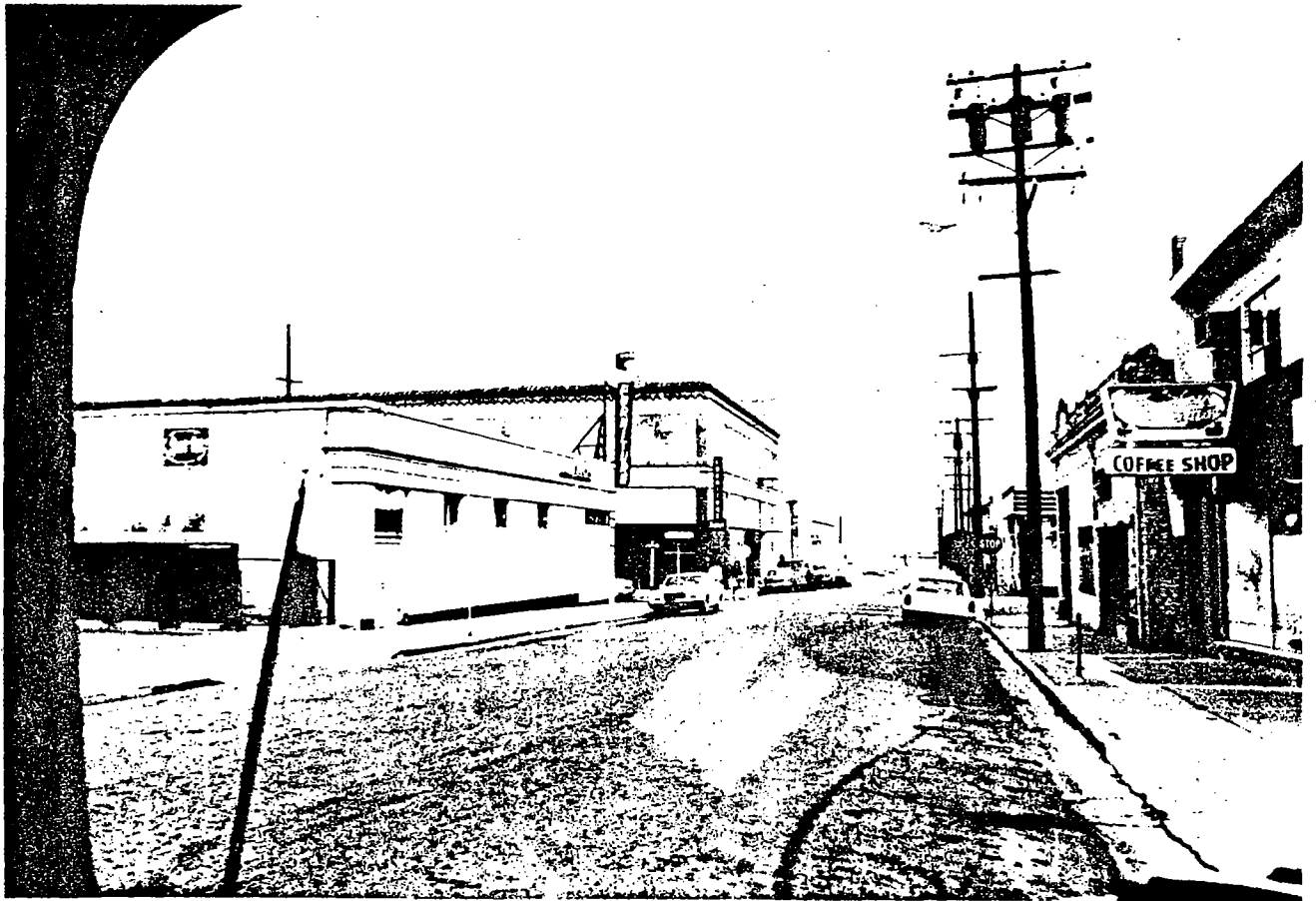
1. Liberty Hotel (1), Green Building (11),
Greenberg Building (10), National
Hotel (5), Martinetti Building (27),
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South: Showing the south side
of third street across the vacant
redevelopment land.
7. Photo #1

1. Liberty Hotel
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South: Front elevation
7. Photo #2



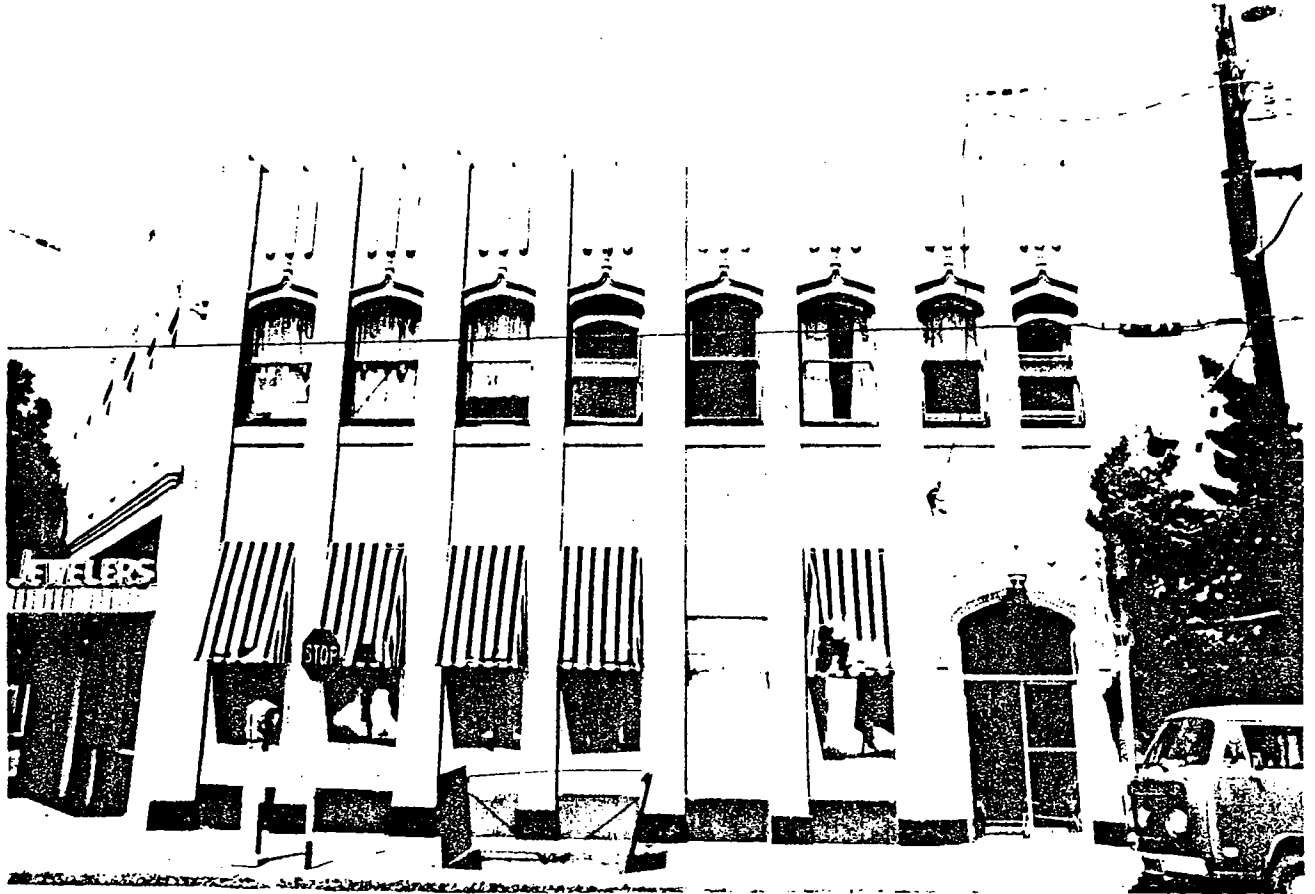
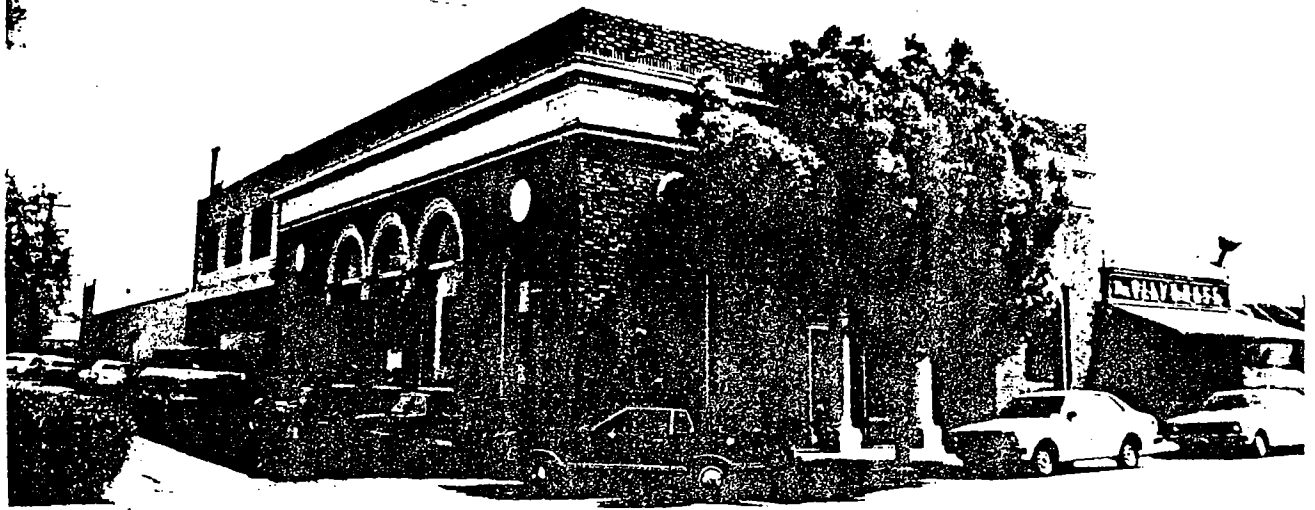
1. Vieira Building (23)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South East: Showing E. Fourth
and Cumberland facade.
7. Photo #4

1. Aiello Building (21), N/C Building (20),
N/C Building (19), N/C Building (18),
Wisemons (17), Contra Costa Co. Bank (16)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - West: Showing south side of E.
Fourth Street between Cumberland and
Railroad Avenue.
7. Photo #3



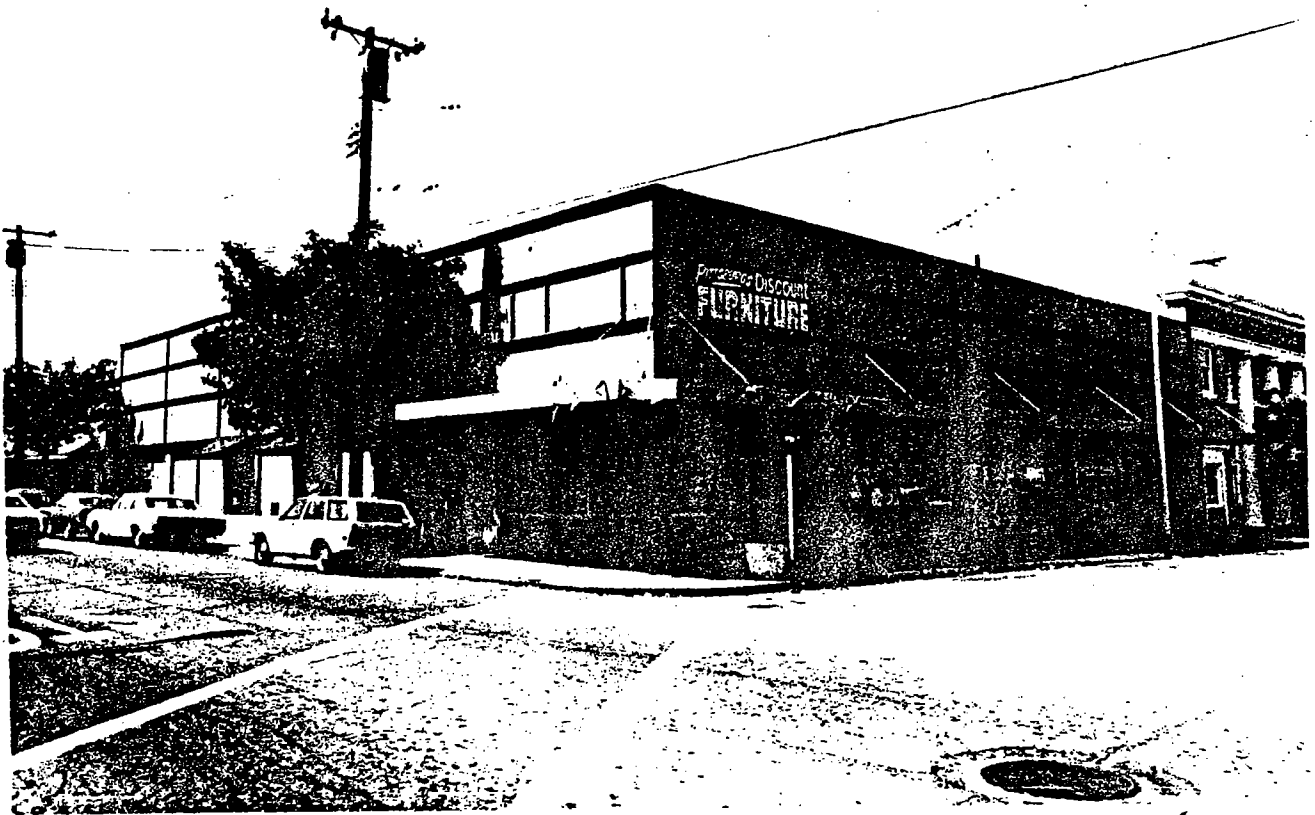
1. King Parker (14), Montgomery Ward (15)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - North West: Showing E. Fourth
and Cumberland facade of two buildings
with single facade.
7. Photo #5

1. Aiello Building (21), Montgomery Ward (15),
Woolworth Building (4), Vieira Building
(23)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - North: Showing Cumberland Street
facades.
7. Photo #6



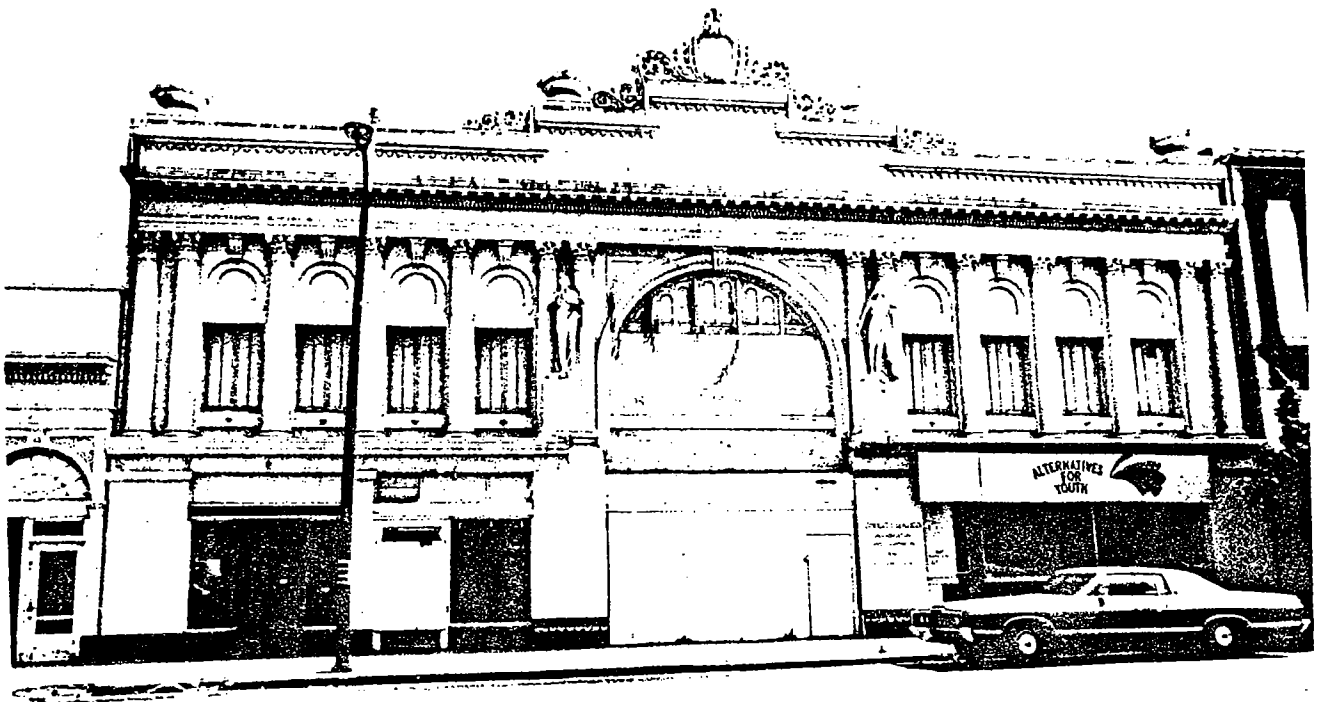
1. Pittsburg Post Dispatch Building (25),
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South East: Showing both North
and West facades.
7. Photo #7

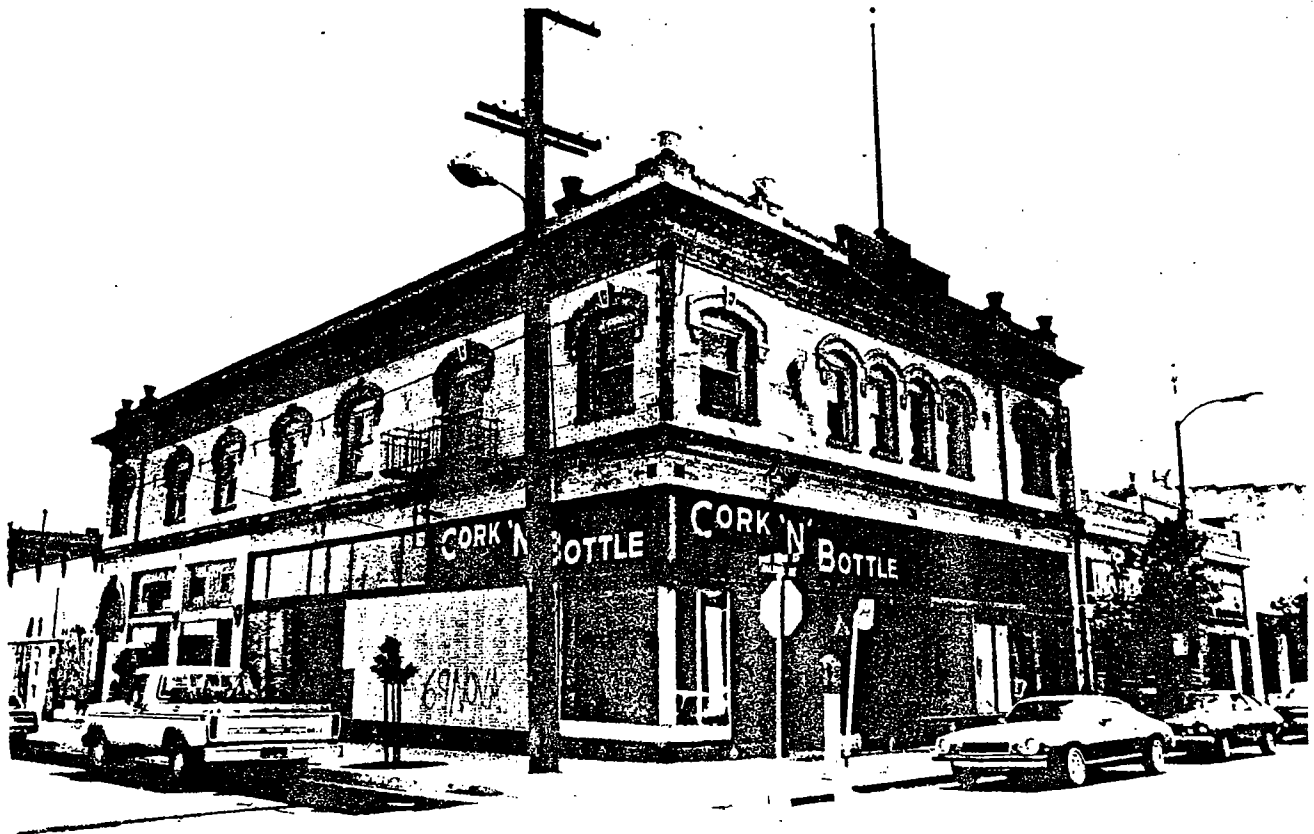
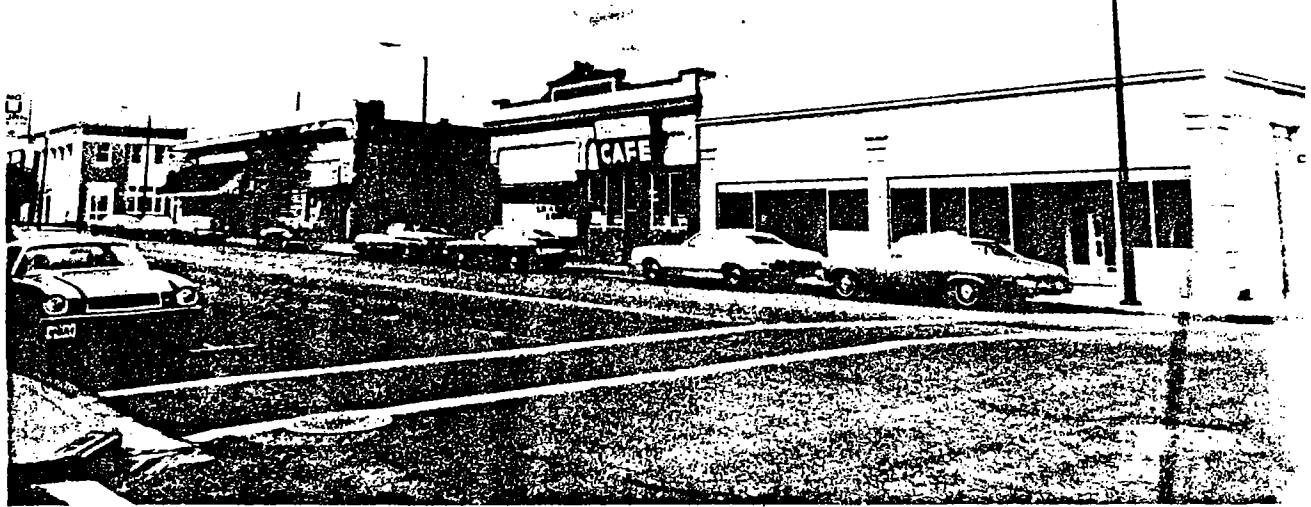
1. Medico-Dental Building (22)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - North: Showing South and portion
of West facade.
7. Photo #8



1. Post Office (24), Pittsburg Post Dispatch Building (25)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South East: Showing East side of Railroad Avenue South of E. Fifth Street.
7. Photo #9

1. Buchanan Building (37), Bank of America (34)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - North West: Showing the South and the East facade.
7. Photo #10





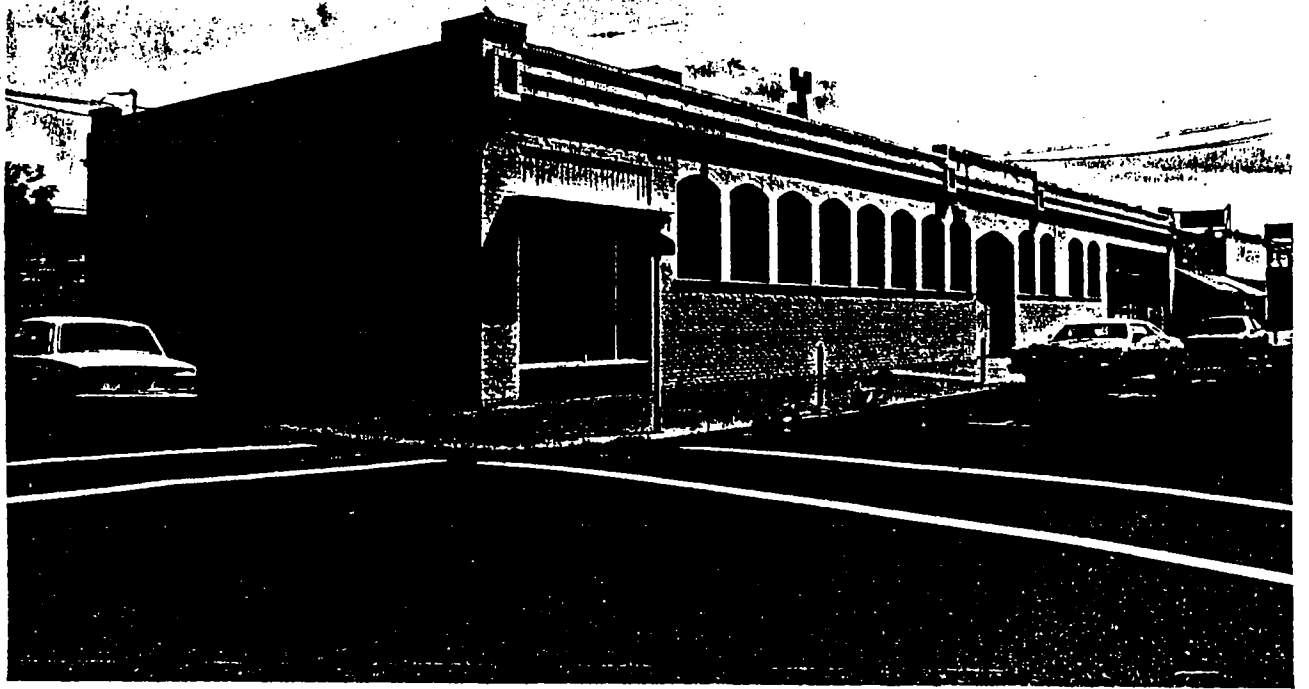
1. Martinetti Building (27), Lazio Building (28), Royce Building (30), Demetrakopulos Building (31), Bank of America (34)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South West: Showing West side of Railroad Avenue, E. Third and E. Fourth Street.
7. Photo #13

1. National Hotel (5), National Dollar Store (6)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South East: Showing North and West facades along Third and Railroad Avenue.
7. Photo #14



1. Burlessan Building (33), Bank of America
(34), Contra Costa Co. Bank (16),
Wisemons (17)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone -
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South East: Showing South side
of E. Third Street.
7. Photo #15

1. Burlessan Building (33)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South: Showing facade along E.
Third Street.
7. Photo #16



1. Scampini Building (39)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - South East: Showing both North
(E. Fifth Street) and West (Black Diamond
Street).
7. Photo #17

1. Lepori Building (38)
New York Landing Historic District
2. Pittsburg, California
3. Edwin S. Astone
4. May, 1981
5. 928 2nd Street, Sacramento, California
6. View - West: Showing East (Black Diamond
Street) and North (E. Fifth Street)
facades.
7. Photo #18

Appendix C

Biggs Cardoso Associates Report

June 26, 2006
2006161

City Of Pittsburg
65 Civic Avenue
Pittsburg, California 94565

Attention: Mr. Curtis R. Smith

Subject: **Engineering Report**
Unreinforced Masonry Building
2-4 E Fifth Street

Dear Mr. Smith:

Biggs Cardosa Associates, Inc. has prepared this structural investigation of 2-4 E Fifth Street in Pittsburg, California. The purpose of the investigation is to gather information about the existing structure and to provide recommendations for seismic retrofit as needed to bring the building into compliance with the Unreinforced Masonry Ordinance, as adopted by the City of Pittsburg Municipal Code. The attached report contains a summary of our observations of the structure, code design criteria, deficiencies found and seismic retrofit recommendations to the existing structure. The report and included appendices represent the completed scope of work for the subject building.

The information supplied in the attached report is based on available data, visual observations of the existing construction, and preliminary structural calculations. Observations are limited to what was visible at the time of our site visit. This report addresses only structural deficiencies and recommended repairs necessary to comply with the Unreinforced Masonry Ordinance. It should be understood that the recommendations specified herein are preliminary only. A thorough design of the project must be done if the contract drawings for the proposed modifications are to be prepared.

If you have any questions regarding the comments or recommendations contained in the attached report, please contact Mark Cardosa at (408) 296-5515.

Sincerely,

BIGGS CARDOSA
ASSOCIATES, INC.



Mark A. Cardosa, S.E.
Vice President

INTRODUCTION

This structural investigation of 2-4 E. Fifth Street in Pittsburg, California has been prepared by Biggs Cardosa Associates, Inc. The purpose of the investigation is to gather information about the existing structure and to provide recommendations for seismic retrofit as needed to bring the building into compliance with the Unreinforced Masonry Ordinance, as adopted by the City of Pittsburg Municipal Code. The following is a summary of our observations of the structure, code design criteria, deficiencies found, and seismic retrofit recommendations to the existing structure.

BUILDING DESCRIPTION

The structure is a one-story unreinforced brick masonry building located at 2-4 E. Fifth Street in Pittsburg, California. The date of original construction is unknown, but believed to be sometime in the 1920's. The building has overall plan dimensions of approximately 44-feet x 125-feet. All walls of the building are 13" thick unreinforced brick masonry walls. The front of the building is open with a 13" thick unreinforced masonry parapet supported by beams and columns.

The roof framing consists of straight sheathing supported by 2"x3¾" roof joists at 24" on center. The ceiling framing consists of 1¾"x13" joists spaced 16" on center. Cripple walls that occur at approximately 7-foot centers carry the roof load to the ceiling joists. The ceiling joists are supported by a line of wood beams down the middle of the building.

The roof framing is supported at the exterior by the east and west masonry walls and at the interior by wood posts spaced at approximately 15-foot centers. The first floor construction appears to be slab on grade. The foundation system is unknown.

The buildings lateral load resisting system consists of straight sheathing that acts as a horizontal diaphragm. Currently, this diaphragm spans between the existing masonry walls.

See Appendix A for key plans.

DESIGN CRITERIA

Vertical Load Analysis

We noted no distress in the existing framing and no change of use has been proposed for the building, so there is no code requirement to analyze the existing framing for vertical loading. However, we noted one column that was removed in the middle of the building and resupported with diagonal rods which are assumed to be anchored back up into the beam above. Biggs Cardosa has concerns that the framing in this area may become unstable under lateral loading and we have made recommendations for mitigating this issue in the Recommended Modifications section of the report.

In the future, if there is a change of use is proposed which requires a live load greater than that for

which the building has historically withstood, elements in the vertical load system may need to be strengthened. Should additional damage or distress become evident in the future, conventional analysis procedures from the current edition of the California Building Code should be used to verify capacity of the existing vertical load system.

Lateral Load Analysis

Design criteria for the lateral analysis of existing buildings may vary based on the intent of the building owner and requirements of governing agencies. The Appendix A of the Pittsburg Unreinforced Masonry (URM) Ordinance specifies that unreinforced masonry buildings be analyzed with forces per the 1988 Uniform Building Code (UBC) or the current adopted edition of the UBC, and as required by tables contained in Appendix A of the URM Ordinance. The current, state of the art code for analysis of unreinforced masonry buildings is the Uniform Code for Building Conservation. Based on our conversations with the Chief Building Official for the City of Pittsburg, analysis per the UCBC will comply with the City's URM Ordinance requirements.

The analysis of this structure for lateral loading has been done in accordance with the 1997 UCBC, which meets minimum life-safety requirements and satisfies the City of Pittsburg URM Ordinance. Within the UCBC, there are two methods for the analysis of unreinforced masonry buildings: General and Special Procedure. Based on the building layout, the building has been analyzed using the Special Procedure.

ASSUMPTIONS

The information supplied in this report is based on available reports, field investigations, and preliminary structural calculations. Observations are based on what was visible during our field investigations, and did not include removal of finishes or any testing of existing materials. Our analysis assumes that no change in occupancy will occur in building different than its current usage.

The analysis assumes a minimum mortar shear strength of 100-psi. Testing would be required to verify this minimum capacity for final design. Furthermore, should the existing mortar not meet this minimum shear strength, additional seismic upgrade work beyond the recommendations contained in this report may be required.

STRUCTURAL EVALUATION

In general, the building's vertical load carrying system is in good condition and has been well maintained. A deficiency was noted in the vertical load path where a column has been removed, as noted above. Although the current support system appears to be supporting gravity loads, Biggs Cardosa is concerned that any lateral loading resulting from wind or earthquake forces could result in significant instability and potential for collapse.

The following are the structural deficiencies in the building's vertical and lateral load resisting

system found as a result of field observations and a preliminary lateral load analysis:

1. Existing column removal and installation of diagonal tie rods appears to be unstable for lateral loading.
2. The roof diaphragm is not adequate to resist the seismic loads in the transverse direction.
3. The connections of the roof diaphragm to the unreinforced masonry walls are not adequate for in-plane shear loading.
4. The connections of the roof diaphragm to the unreinforced masonry walls are not adequate for out-of-plane tension loading (wall anchorage).
5. The building lacks a complete seismic load path in the East-West direction.
6. The existing unreinforced masonry wall along the west elevation is not adequate for in-plane shear loading.
7. Parapets exceed UCBC allowable heights at some locations.
8. Major load bearing beams in some cases are supported by masonry walls.

RECOMMENDED MODIFICATIONS

Based on the deficiencies noted in the previous section, the following modifications to the building's structural system will be required to meet the requirements of the UCBC. See Keyplans in Appendix A for locations of work.

1. Install a new column where the original column was removed. Alternately, the new moment frame could be located to support the existing roof beam.
2. Strengthen the existing roof diaphragm for lateral load. This would require adding a plywood overlay to the existing straight sheathing. The plywood will require nailing to the existing roof framing and edge stapling to the existing roof sheathing.
3. Install a steel moment resisting frame, with reinforced concrete footings to resist seismic lateral loads, at the open-front of the building and mid-length between the open-front and the south wall. Alternate lateral load resisting elements, such as braced frames or concrete shearwalls could also be used. Typically, moment resisting frames have the least impact on useable floor space.
4. Install shear anchors to connect the roof diaphragm for in-plane shear to existing unreinforced masonry walls. Typical anchor spacing would be at 4'-0" on center. See Item 5 below.
5. Install tension anchors and blocking at the roof to support the walls for out-of-plane loading. Anchor spacing would typically be at 1'-4" on center at the masonry walls.

For unreinforced masonry, combination anchors that are capable of resisting both in-plane shear and out-of-plane tension forces can be used for efficiency. Therefore, the

anchors in Items 4 and 5 can be combined.

6. Install parapet bracing for all the unreinforced masonry parapets that are taller than approximately 1'-8".
7. Infill existing chimney flues with masonry grout.
8. Install shotcrete shearwall and reinforced concrete footing along west wall elevation.
9. Re-point deteriorated mortar in unreinforced masonry walls (Allowance).
10. At locations where major beams are supported by a masonry wall, install a secondary support for the beam that will support the beam if the masonry below the beam becomes unstable in a major earthquake.

CLOSING

The information supplied in this report is based on available data, visual observations of the existing construction, and preliminary structural calculations. Observations are limited to what was visible at the time of our site visits. This report addresses only structural deficiencies and recommended repairs necessary to comply with the Unreinforced Masonry Ordinance, as adopted by the City of Pittsburg Municipal Code. The included cost estimate does not provide an allowance to account for potential disruptions to architectural, mechanical, electrical, plumbing or fire protection systems that may be impacted by the structural work. Furthermore, upgrades of these non-structural components are not considered.

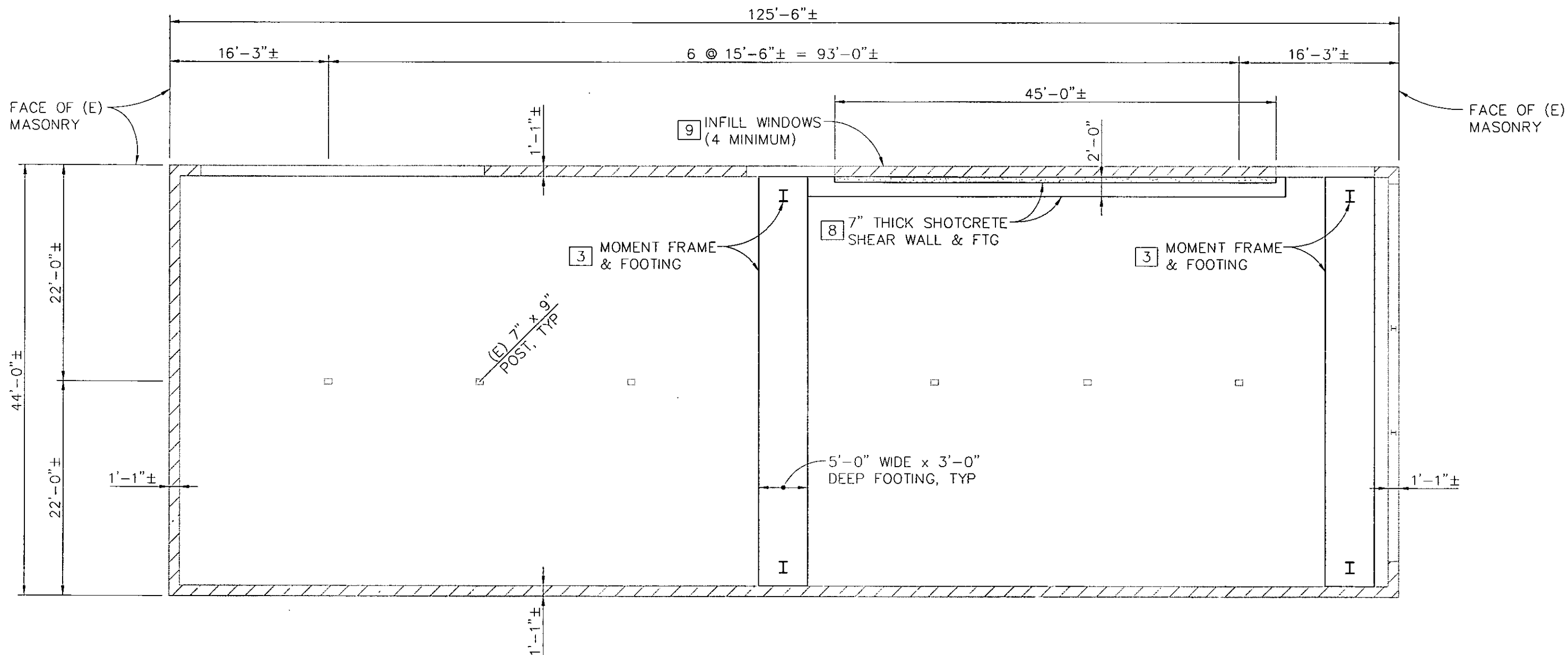
The building owner should also be aware that future modifications to the building structure or changes in the buildings use resulting in a higher occupancy level may require that the building be upgraded to the current building code.

It should be understood that the recommendations specified herein are preliminary only. A thorough design of the project must be done if the contract drawings for the proposed modifications are to be prepared.

If you have any questions regarding the comments or recommendations contained in this report, please contact Mark Cardosa at (408) 296-5515.

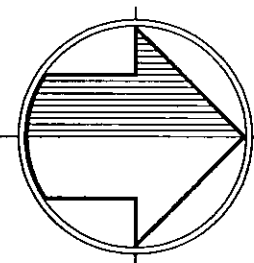
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APPENDIX A
Keyplans & Details



SCHEMATIC FOUNDATION PLAN

$\frac{3}{32}'' = 1'-0''$



FOR PRICING ONLY/
NOT FOR CONSTRUCTION

**BIGGS CARDOSA
ASSOCIATES INC**
STRUCTURAL ENGINEERS

1871 The Alameda, Suite 200
San Jose, California 95128
408-296-5515



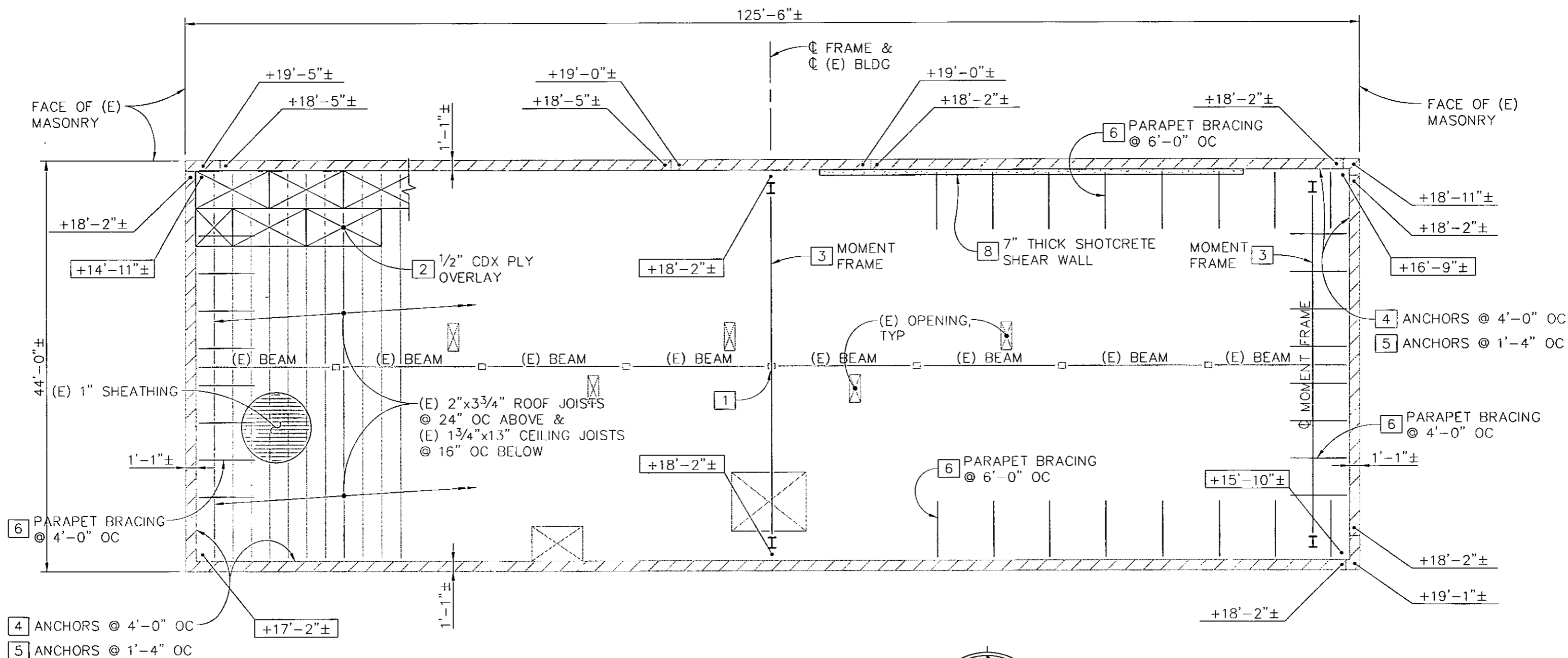
SCHEMATIC FOUNDATION PLAN
2-4 E. FIFTH STREET

UNREINFORCED MASONRY
STRUCTURAL INVESTIGATION
for

THE CITY OF PITTSBURG
PITTSBURG, CALIFORNIA

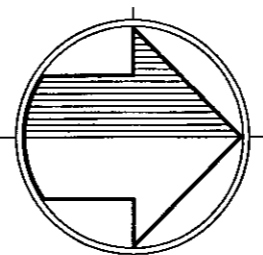
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DRAWN BY: TEH	SCALE: AS SHOWN
CHECKED BY: MAC	JOB No.: 2006161
SHEET 1 OF 6	
DRAWING No.	REV. No.
A 2006161-1	0

(2006161FN1) 2006161



SCHEMATIC ROOF PLAN

3/32" = 1'-0"



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BIGGS CARDOSA ASSOCIATES INC
STRUCTURAL ENGINEERS

1871 The Alameda, Suite 200
San Jose, California 95128
408-298-5515



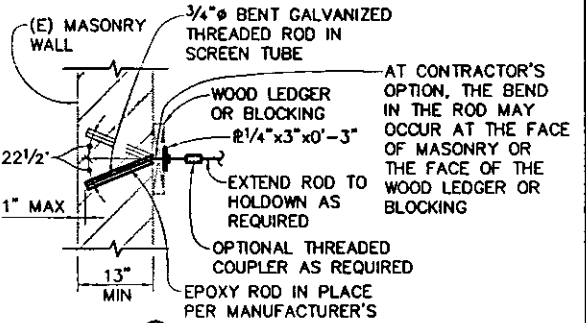
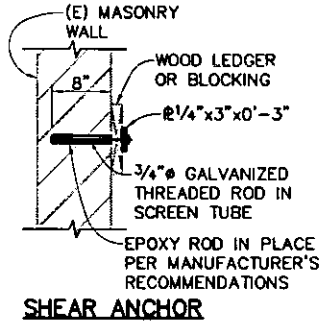
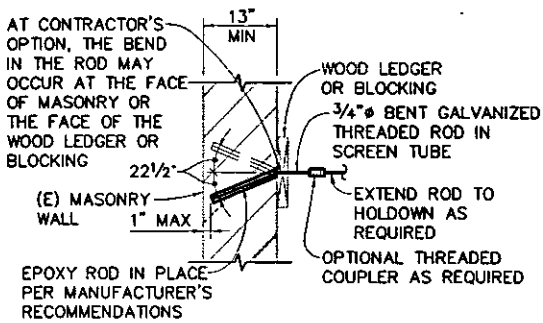
SCHEMATIC ROOF FRAMING PLAN
2-4 E. FIFTH STREET

UNREINFORCED MASONRY
STRUCTURAL INVESTIGATION
for

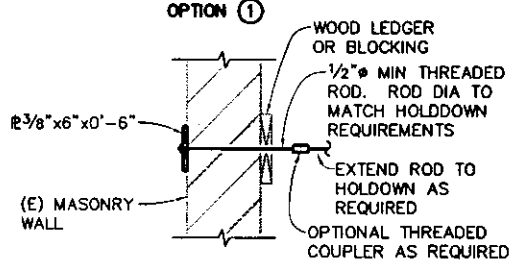
THE CITY OF PITTSBURG
PITTSBURG, CALIFORNIA

DESIGNED BY: PBM	DATE: 6/22/06
DRAWN BY: TEH	SCALE: AS SHOWN
CHECKED BY: MAC	JOB No.: 2006161
SHEET 2 OF 6	
DRAWING No.	REV. No.
A	2006161-2
	0

(2006161RF2) 2006161



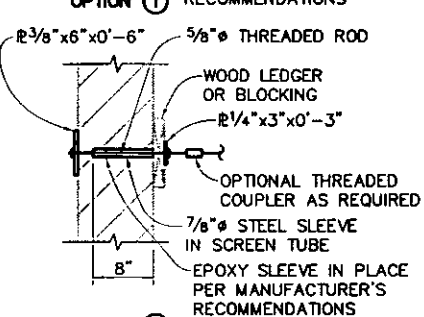
SHEAR ANCHOR



NOTE:
SEE SPECIFICATIONS FOR TESTING OF EPOXIED THREADED RODS IN UNREINFORCED MASONRY

NOTE:
CONTRACTOR IS TO TORQUE ALL EPOXIED THREADED RODS AND STEEL SLEEVE AS FOLLOWS:
1/2 inch ROD - 40 FT-LB
5/8 inch ROD - 50 FT-LB
3/4 inch ROD - 60 FT-LB
7/8 inch SLEEVE - 60 FT-LB

TENSION ANCHOR (TENSION)



COMBINATION ANCHOR (TENSION & SHEAR)

NOTE:
DRILLING FOR BOLTS & ANCHORS SHALL BE DONE WITH AN ELECTRIC ROTARY DRILL. IMPACT TOOLS SHALL NOT BE USED FOR DRILLING HOLES OR TIGHTENING SHEAR OR COMBINATION BOLT NUTS IN UNREINFORCED MASONRY

DETAIL 1
3/4" = 1'-0"

FOR PRICING ONLY/
NOT FOR CONSTRUCTION

BIGGS CARDOSA ASSOCIATES INC
STRUCTURAL ENGINEERS

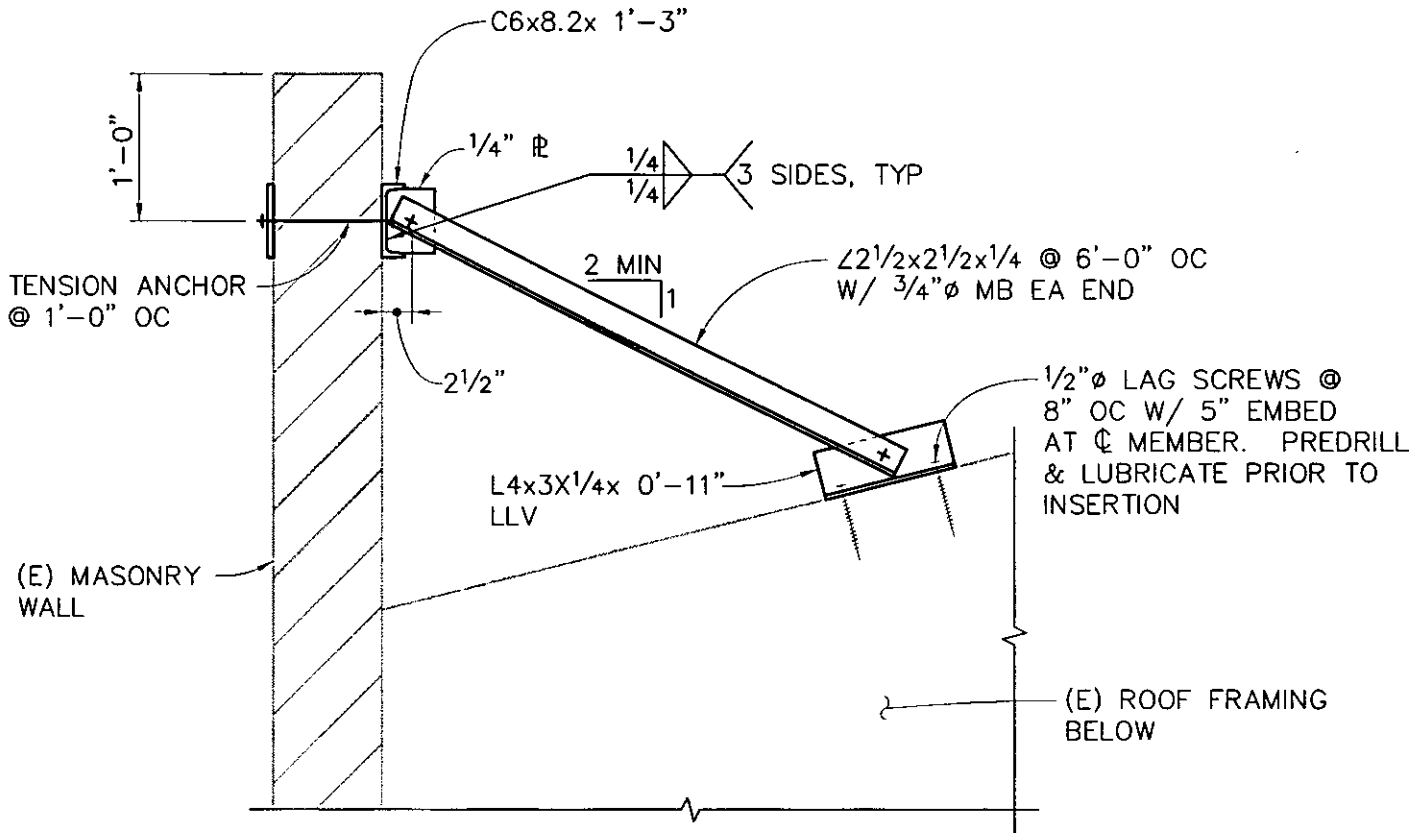
1871 The Alameda, Suite 200
San Jose, California 95126
408-296-5515

TYPICAL UNREINFORCED MASONRY
TENSION, SHEAR & COMBINATION ANCHORS

UNREINFORCED MASONRY STRUCTURAL INVESTIGATION
for
THE CITY OF PITTSBURG
PITTSBURG, CALIFORNIA

DESIGNED BY: PBM	DATE: 6/22/06
DRAWN BY: TEH	SCALE: AS SHOWN
CHECKED BY: PBM	JOB No.: 2006161
SHEET 3 OF 6	
DRAWING No.	REV No.
A 2006161-3	0

(20061613) 2006161



SECTION A
 $\frac{3}{4}" = 1'-0"$ S1

FOR PRICING ONLY/
 NOT FOR CONSTRUCTION

BIGGS CARDOSA ASSOCIATES INC
 STRUCTURAL ENGINEERS

1871 The Alameda, Suite 200
 San Jose, California 95126
 408-296-5515

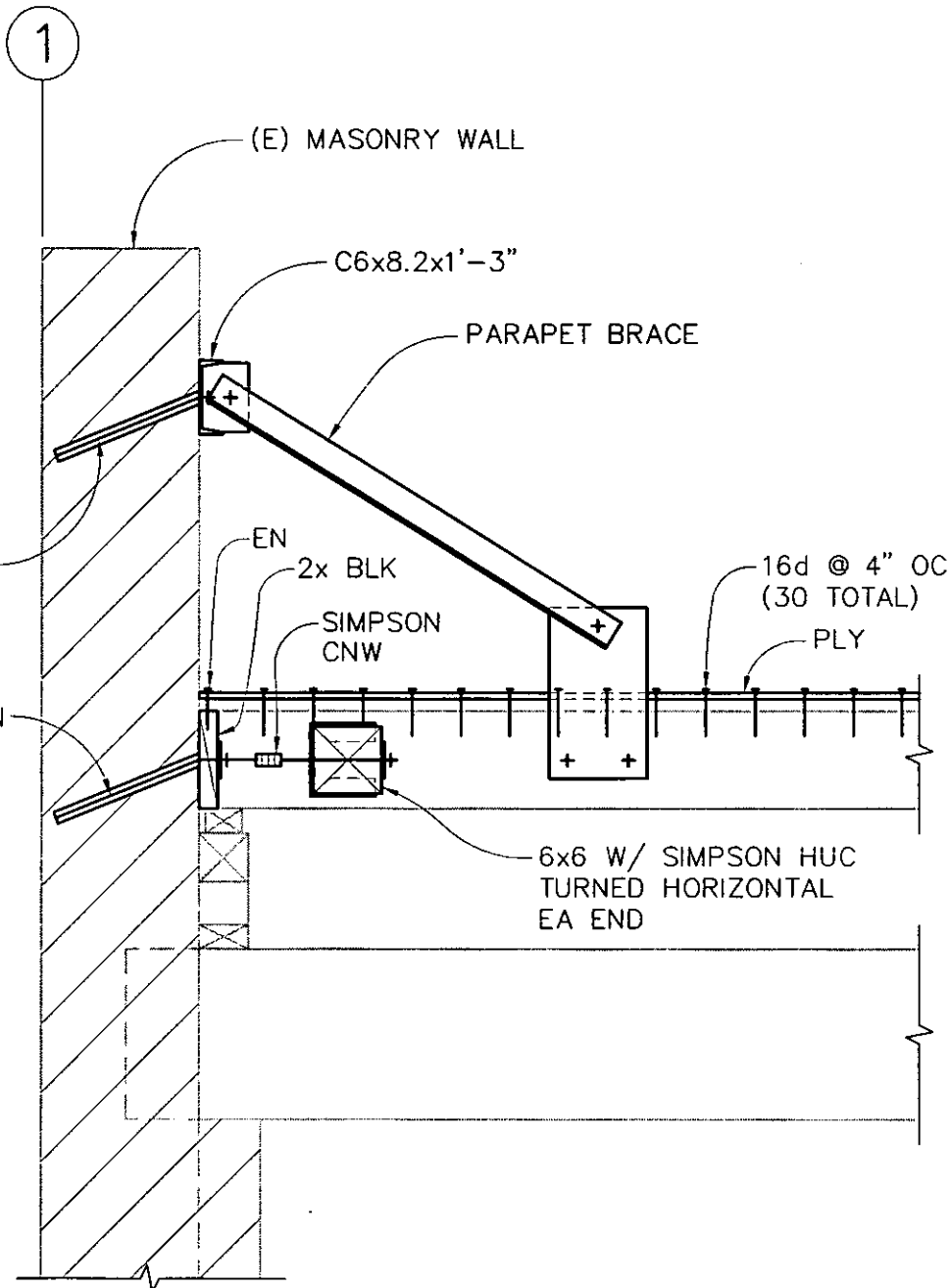


**TYPICAL UNREINFORCED MASONRY
 SCHEMATIC PARAPET BRACING DETAIL ALT- No. 1**

**UNREINFORCED MASONRY
 STRUCTURAL INVESTIGATION
 for**

**THE CITY OF PITTSBURG
 PITTSBURG, CALIFORNIA**

DESIGNED BY: PBM	DATE: 6/22/06
DRAWN BY: TEH	SCALE: AS SHOWN
CHECKED BY: PBM	JOB No.: 2006161
SHEET 4 OF 6	
DRAWING No. REV No.	
A	2006161-4 0



SECTION (B)
 3/4" = 1'-0" (S1)

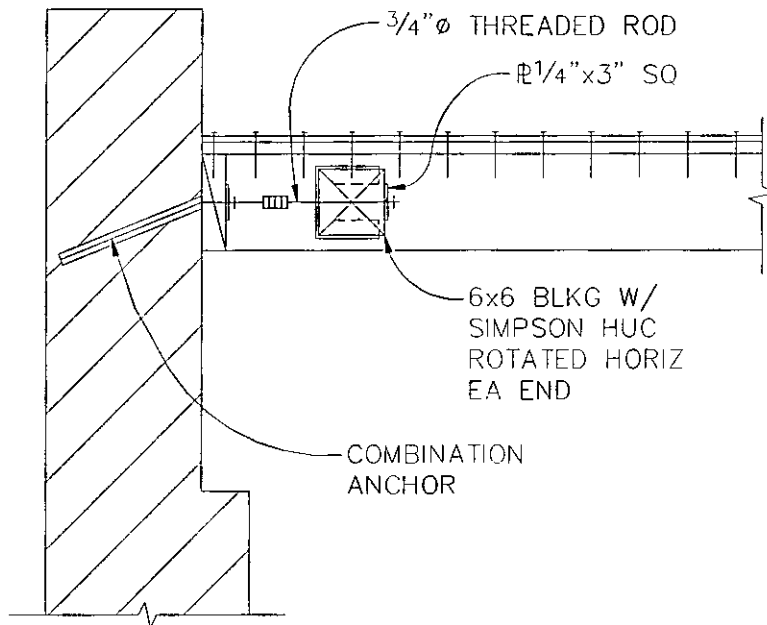
FOR PRICING ONLY/
 NOT FOR CONSTRUCTION

BIGGS CARDOSA ASSOCIATES INC
 STRUCTURAL ENGINEERS
 1871 The Alameda, Suite 200
 San Jose, California 95126
 408-296-5515
BCA

TYPICAL UNREINFORCED MASONRY SCHEMATIC PARAPET BRACING DETAIL ALT- No. 2

UNREINFORCED MASONRY STRUCTURAL INVESTIGATION for THE CITY OF PITTSBURG PITTSBURG, CALIFORNIA

DESIGNED BY: PBM	DATE: 6/22/06
DRAWN BY: TEH	SCALE: AS SHOWN
CHECKED BY: PBM	JOB No.: 2006161
SHEET 5 OF 6	
DRAWING No.	REV No.
A 2006161-5	0



SECTION C
S1

3/4" = 1'-0"

FOR PRICING ONLY/
NOT FOR CONSTRUCTION

**BIGGS CARDOSA
ASSOCIATES INC**
STRUCTURAL ENGINEERS

1871 The Alameda, Suite 200
San Jose, California 95126
408-296-5515



**TYPICAL UNREINFORCED MASONRY
ROOF TO WALL CONNECTION (TENSION & SHEAR)**

**UNREINFORCED MASONRY
STRUCTURAL INVESTIGATION**
for
**THE CITY OF PITTSBURG
PITTSBURG, CALIFORNIA**

DESIGNED BY: PBM	DATE: 6/22/06
DRAWN BY: TEH	SCALE: AS SHOWN
CHECKED BY: PBM	JOB No.: 2006161
SHEET 6 OF 6	
DRAWING No.	
REV No.	
A	2006161-6
	0

APPENDIX B
Cost Estimate

Scampini Building
 2-4 E. Fifth Street
 Pittsburg, CA

Construction Items	Quantity / Unit	Unit Cost	Estimate
General Conditions	12 wk	\$5,750.00	\$69,000
Access Demolition	1 ls	\$6,000.00	\$6,000
Concrete Break & Remove	510 sf	\$8.00	\$4,080
Excavation	57 cy	\$115.00	\$6,555
Footings	57 cy	\$427.80	\$24,385
Tension Anchors	162 ea	\$204.00	\$33,048
Combination Anchors	80 ea	\$204.00	\$16,320
Masonry Repair (allowance)	1 ls	\$12,000.00	\$12,000
Moment Frame	2 ea	\$28,750.00	\$57,500
Shotcrete Wall	810 sf	\$23.00	\$18,630
Shoring	1 ls	\$2,700.00	\$2,700
Parapet Bracing	34 ea	\$427.80	\$14,545
Secondary Supports	1 ls	\$1,000.00	\$1,000
Interior Finishes (allowance)	1 ls	\$2,000.00	\$2,000
Liability Insurance	1 ls	\$6,000.00	\$6,000
Sub-Total			\$273,763
Contingency	10 %	\$27,376.28	\$27,376
Construction Total			\$301,139

Scampini Building
2-4 E. Fifth Street
Pittsburg, CA

Professional Design Services

Structural Construction Documents			\$22,000
Brick Shear Testing			\$3,200
Special Inspection			\$20,000
Structural Observation			\$4,000
Construction Administration			\$5,000
Sub-Total			\$54,200
Contingency	10 %	\$5,420.00	\$5,420

Professional Design Services Total

\$59,620

Permitting

Building Permit			\$5,000
Plancheck Fee			\$5,000
Inspection (included in Permit Fee)			\$0

Permitting Total

\$10,000

GRAND TOTAL

\$370,759**Assumptions:**

Costs for mechanical, electrical, and plumbing (MEP) relocation required to accommodate installation of retrofit items are not included in this estimate. The Code Compliance estimate prepared by RGK Construction Services includes MEP in the scope of work. It is assumed the new MEP work can be phased to accommodate seismic retrofit work.

Plywood overlay and re-roofing costs are included in the Code Compliance estimate and, therefore, are not included in this estimate.

Costs associated with upgrades to comply with ADA requirements are addressed in the Code Compliance estimate and, therefore, are not included in this estimate.

Architectural and MEP design services are assumed to be included in the Code Compliance estimate and are not included in this estimate.

Appendix D

RGK Construction Services Report

4 & # 2 EAST 5th STREET

PITTSBURG, CA

PRELIMINARY COST ESTIMATE FOR CODE COMPLIANCE AND DAMAGE REPAIR

PREPARED BY RGK CONSTRUCTION SERVICES INC.

6/23/2006

FOR SETTLEMENT PURPOSES ONLY, PROTECTED BY EVIDENCE CODE SECTION 1119, 1124

PREP BY: RGK

DATE PREP: 6/23/2006

ITEM #	DESCRIPTION	QUANTITY	UNIT	MATERIAL UNIT PRICE	MATERIAL TOTAL PRICE	LABOR UNIT MANHR	LABOR TOTAL MANHR	LABOR RATE	LABOR UNIT PRICE	LABOR TOTAL COST	UNIT PRICE	TOTAL COST
SUMMARY												
EXTERIOR												
FRONT ELEVATION												
1	The steel posts at front elevation in their current location prevent handicap access to the entry doors.				\$ 14,840		180			\$ 8,110		\$ 16,482
2	The existing fixed glazing is not tempered and cracked at one location.				\$ 11,712		86			\$ 3,866		\$ 15,578
3	Downspout at front elevation is not discharging to curb				\$ 690		49			\$ 2,216		\$ 2,906
RIGHT SIDE ELEVATION												
4	The existing fixed glazing is not tempered				\$ 6,468		66			\$ 2,992		\$ 9,460
5	Existing windows are not dual glazed units				\$ 6,400		36			\$ 1,620.00		\$ 8,020.0
6	Existing man door is not 36" wide				\$ 1,650		5			\$ 195		\$ 1,845
7	Existing vehicle door does not provide adequate access				\$ 2,550		71			\$ 3,195.00		\$ 5,745.00
8	Downspout at right side elevation is not discharging to curb				\$ 690		49			\$ 2,216		\$ 2,906
LEFT AND REAR ELEVATION												
9	The existing brick is not reinforced and the grout joints are separating in places											
ROOF												
10	Remove and replace existing roofing including new plywood sheathing				\$ 28,100		691			\$ 31,099		\$ 59,199
INTERIOR												
1	Existing content removal				\$ 5,000		80			\$ 3,600		\$ 8,600
2	Finish ceiling remove and replace				\$ 16,669		332			\$ 15,534		\$ 30,552
3	Ramp at wood shop not adequate for access				\$ 1,000		32			\$ 1,440		\$ 2,440
4	Existing bathrooms are not adequate for ADA compliance and not enough bathroom totals (1200sf = 2 bath)				\$ 14,500		388			\$ 19,060		\$ 36,260
5	Existing electrical upgrades performed with out permits and inspections				\$ 5,191		166			\$ 8,640		\$ 13,831
6	Existing HVAC system is not classified for A-3 occupancy rating				\$ 13,500		232			\$ 12,760		\$ 26,260
7	No signage provided for egress				\$ 1,500		32			\$ 1,760		\$ 3,260
8	No fire extinguishers provided				\$ 750		18			\$ 990		\$ 1,740
OTHER												
1	Lead paint and asbestos abatement may be required				\$ 15,000		120			\$ 6,600		\$ 21,600
SUB-TOTAL		4,691	SF		\$ 146,210					\$ 125,893.03	\$ 56.85	\$ 266,684.53
CONTINGENCY		10	%									\$ 26,668.45
GENERAL CONDITIONS INCLUDING STREET PROTECTION		15	%									\$ 40,002.68
SUB-TOTAL		4,691	SF								\$ 62.54	\$ 293,352.98
OVERHEAD, INSURANCE, MANAGEMENT, PROFIT (ESCALATION NOT INCLUDED)		12	%									\$ 35,202.36
ARCHITECTURAL FEES (Allowance)		8	%									\$ 328,555.33
PERMIT FEES (Allowance)		3	%									\$ 26,284.43
TOTAL COST		4,691	SF								\$ 77.74	\$ 364,696.42
ESCALATION COSTS NOT INCLUDED												

4 & # 2 EAST 5th STREET
PITTSBURG, CA

PREP BY: RGK
DATE PREP: 6/23/2006

PRELIMINARY COST ESTIMATE FOR CODE COMPLIANCE AND DAMAGE REPAIR

PREPARED BY RGK CONSTRUCTION SERVICES INC.
6/23/2006

FOR SETTLEMENT PURPOSES ONLY, PROTECTED BY EVIDENCE CODE SECTION 1119, 1124

ITEM #	DESCRIPTION	QUANTITY	UNIT	MATERIAL UNIT PRICE	MATERIAL TOTAL PRICE	LABOR UNIT MANHR	LABOR TOTAL MANHR	LABOR RATE	LABOR UNIT PRICE	LABOR TOTAL COST	UNIT PRICE	TOTAL COST
	EXTERIOR											
	<u>FRONT ELEVATION</u>											
1	<u>Preliminary site observation:</u> The steel posts at front elevation in their current location prevent handicap access to the entry doors. Front elevation has 2 steel posts within 4' of the front doors supporting a soffit and roof above											
	<u>Scope of Work</u> Steel columns at front and beam above recommended to be removed . The existing beam supports roof framing and brick parapet wall. Install new steel columns at new locations and seel beam above. Provide new soffit framing and soffit Provide new brick parapet, new siding with framing behind. Roof repair in Roof Section.											
	<u>DEMOLITION</u>											
	REMOVE EXISTING BRICK PARAPET WALL	168	SF	\$ -	\$ -	0.060	10.1	\$ 45.00	\$ 2.70	\$ 453.60	\$ 2.70	\$ 453.60
	REMOVE EXISTING SOFFIT AND SOFFIT FRAMING	132	SF	\$ -	\$ -	0.080	10.6	\$ 45.00	\$ 3.60	\$ 475.20	\$ 3.60	\$ 475.20
	PROVIDE TEMP SUPPORT BELOW EXISTING ROOF JOISTS (INSIDE OF POSTS)	1	LS	\$ 200	\$ 200	4.000	4.0	\$ 45.00	\$ 180.00	\$ 180.00	\$ 380.00	\$ 380.00
	REMOVE EXISTING STEEL POSTS INCLUDE BRICK BASE	2	EA	\$ -	\$ -	2.000	4.0	\$ 45.00	\$ 90.00	\$ 180.00	\$ 90.00	\$ 180.00
	REMOVE EXISTING WOOD SIDING AND FRAMING BEHIND	132	SF	\$ -	\$ -	0.040	5.3	\$ 45.00	\$ 1.80	\$ 237.60	\$ 1.80	\$ 237.60
	REMOVE EXISTING STEEL BEAM ABOVE STEEL POSTS	40	LF	\$ 20	\$ 800	0.200	8.0	\$ 45.00	\$ 9.00	\$ 360.00	\$ 29.00	\$ 1,160.00
	HAUL DEBRIS	1	BOX	\$ 330	\$ 330	4.000	4.0	\$ 45.00	\$ 180.00	\$ 180.00	\$ 510.00	\$ 510.00
	<u>REPAIR</u>											
	NEW COLUMNS FOOTING INCLUDING SIDEWALK REWORK	2	EA	\$ 120	\$ 240	4.000	8.0	\$ 45.00	\$ 180.00	\$ 360.00	\$ 300.00	\$ 600.00
	INSTALL NEW STEEL POSTS	2	EA	\$ 350	\$ 700	4.000	8.0	\$ 45.00	\$ 180.00	\$ 360.00	\$ 530.00	\$ 1,060.00
	INSTALL NEW STEEL BEAM INCLUDING WELDING	42	LF	\$ 75	\$ 3,150	0.571	24.0	\$ 45.00	\$ 25.71	\$ 1,080.00	\$ 100.71	\$ 4,230.00
	INSTALL NEW SOFFIT FRAMING	132	SF	\$ 2	\$ 264	0.080	10.6	\$ 45.00	\$ 3.60	\$ 475.20	\$ 5.60	\$ 739.20
	INSTALL NEW SOFFIT ALLOW WOOD SIDING 4X8 WITH WATERPROOFING	132	SF	\$ 3	\$ 396	0.065	8.6	\$ 45.00	\$ 2.93	\$ 386.10	\$ 5.93	\$ 782.10
	INSTALL NEW FRAMING AND PLYWOOD SHEATHING FOR SIDING ABOVE SO	132	EA	\$ 5	\$ 660	0.170	22.4	\$ 45.00	\$ 7.65	\$ 1,009.80	\$ 12.65	\$ 1,669.80
	INSTALL NEW PARAPET WALL INCLUDE FRAMING AND PLYWOOD SHEATHIN	168	SF	\$ 4	\$ 672	0.120	20.2	\$ 45.00	\$ 5.40	\$ 907.20	\$ 9.40	\$ 1,579.20
	INSTALL NEW BRICK VENEER TO MATCH EXISTING	168	SF	\$ 5	\$ 840	0.170	28.6	\$ 45.00	\$ 7.65	\$ 1,285.20	\$ 12.65	\$ 2,125.20
	REPAIR CONCRETE WALKWAY	1	LS	\$ 120	\$ 120	4.000	4.0	\$ 45.00	\$ 180.00	\$ 180.00	\$ 300.00	\$ 300.00
	SUB-TOTAL	1	LOC		\$ 8,372		180.2			\$ 8,109.90	\$ 16,481.90	\$ 16,481.90
2	<u>Preliminary site observation:</u> The existing fixed glazing is not tempered and cracked at one location. Existing front elevation consists of approximately 32' long x 8' ht of fixed glazing panels and 2 ea 36" glass front doors											
	<u>Scope of Work</u> Remove existings glazing and install new tempered glazing											
	<u>DEMOLITION & REPAIR</u>											
	REMOVE EXISTING FIXED GLAZING AND DOORS	38	LF	\$ -	\$ -	0.632	24.0	\$ 45.00	\$ 28.42	\$ 1,080.00	\$ 28.42	\$ 1,080.00
	PREP EXISTING OPENINGS AND INSTALL NEW FLASHING METAL	304	SF	\$ 3	\$ 912	0.080	24.3	\$ 45.00	\$ 3.60	\$ 1,094.40	\$ 6.60	\$ 2,006.40
	INSTALL NEW TEMPERED GLAZING	256	SF	\$ 25	\$ 6,400	0.100	25.6	\$ 45.00	\$ 4.50	\$ 1,152.00	\$ 29.50	\$ 7,552.00
	INSTALL NEW 36" GLASS DOORS INCLUDING FRAME AND TRANSEM	2	SET	\$ 1,750	\$ 3,500	4.000	8.0	\$ 45.00	\$ 180.00	\$ 360.00	\$ 1,930.00	\$ 3,860.00
	INSTALL NEW DOOR HARDWARE	2	SET	\$ 450	\$ 900	2.000	4.0	\$ 45.00	\$ 90.00	\$ 180.00	\$ 540.00	\$ 1,080.00
	SUB-TOTAL	1	LOC		\$ 11,712		85.9			\$ 3,866.40	\$ 15,578.40	\$ 15,578.40

PRELIMINARY COST ESTIMATE FOR CODE COMPLIANCE AND DAMAGE REPAIR

PREPARED BY RGK CONSTRUCTION SERVICES INC.

6/23/2006

FOR SETTLEMENT PURPOSES ONLY, PROTECTED BY EVIDENCE CODE SECTION 1119, 1124

ITEM #	DESCRIPTION	QUANTITY	UNIT	MATERIAL UNIT PRICE	MATERIAL TOTAL PRICE	LABOR UNIT MANHR	LABOR TOTAL MANHR	LABOR RATE	LABOR UNIT PRICE	LABOR TOTAL COST	UNIT PRICE	TOTAL COST	
3	<u>Preliminary site observation:</u> Downspout at front elevation is not discharging to curb The existing downspout at front left corner is terminating above ground												
	<u>Scope of Work</u> Saw cut existing concrete walkway and curb. Excavate soil, install pipe daylight to curb & backfill & patch concrete												
	<u>DEMOLITION & REPAIR</u>												
		SAW CUT EXISTING WALKWAY AND CURB	1	LOC	\$ -	\$ -	8.000	8.0	\$ 45.00	\$ 360.00	\$ 360.00	\$ 360.00	\$ 360.00
		EXCAVATE TRENCH FOR NEW DRAIN LINE	3	CY	\$ -	\$ -	4.000	12.0	\$ 45.00	\$ 180.00	\$ 540.00	\$ 180.00	\$ 540.00
		INSTALL DRAIN PIPE AND DAYLIGHT THROUGH CURB.	20	LF	\$ 12	\$ 240	0.500	10.0	\$ 22.50	\$ 450.00	\$ 450.00	\$ 34.50	\$ 690.00
		CONNECT TO DOWSPOUT	1	LS	\$ -	\$ -	1.000	1.0	\$ 45.00	\$ 45.00	\$ 45.00	\$ 45.00	\$ 45.00
		BACKFILL W / COMPACTION	3	CY	\$ -	\$ -	0.750	2.3	\$ 45.00	\$ 33.75	\$ 101.25	\$ 33.75	\$ 101.25
		REPAIR CONCRETE	60	SF	\$ 2	\$ 120	0.200	12.0	\$ 45.00	\$ 9.00	\$ 540.00	\$ 11.00	\$ 660.00
		HAUL DEBRIS	1	BOX	\$ 330	\$ 330	4.000	4.0	\$ 45.00	\$ 180.00	\$ 180.00	\$ 510.00	\$ 510.00
	SUB-TOTAL	1	LOC		\$ 690		49.3			\$ 2,216.25	\$ 2,906.25	\$ 2,906.25	
4	<u>EXTERIOR</u> <u>RIGHT SIDE ELEVATION</u>												
	<u>Preliminary site observation:</u> The existing fixed glazing is not tempered Existing front elevation consists of approximately 33' long x approx 7' ht of fixed glazing panels												
	<u>Scope of Work</u> Remove existing glazing and install new tempered glazing												
	<u>DEMOLITION & REPAIR</u>												
		REMOVE EXISTING FIXED GLAZING AND DOORS	33	LF	\$ -	\$ -	0.727	24.0	\$ 45.00	\$ 32.73	\$ 1,080.00	\$ 32.73	\$ 1,080.00
		PREP EXISTING OPENINGS AND INSTALL NEW FLASHING METAL	231	SF	\$ 3	\$ 693	0.080	18.5	\$ 45.00	\$ 3.60	\$ 831.60	\$ 6.60	\$ 1,524.60
		INSTALL NEW TEMPERED GLAZING	231	SF	\$ 25	\$ 5,775	0.104	24.0	\$ 45.00	\$ 4.68	\$ 1,080.00	\$ 29.68	\$ 6,855.00
		SUB-TOTAL	1	LOC		\$ 6,468		66.5			\$ 2,991.60	\$ 9,459.60	\$ 9,459.60
	5	<u>Preliminary site observation:</u> Existing windows are not dual glazed units The existing windows are not energy efficient.											
		<u>Scope of Work</u> Remove and replace existing 4'4" wide x 5'6" ht windows											
<u>DEMOLITION & REPAIR</u>													
		REMOVE EXISTING WINDOWS AND FRAMES, 12 ea	8	EA	\$ -	\$ -	1.500	12.0	\$ 45.00	\$ 67.50	\$ 540.00	\$ 67.50	\$ 540.00
		PREP EXISTING OPENINGS AND INSTALL NEW FLASHING METAL	8	EA	\$ 50	\$ 400	2.000	16.0	\$ 45.00	\$ 90.00	\$ 720.00	\$ 140.00	\$ 1,120.00
		INSTALL NEW WOOD WINDOWS AN TO MATCH EXISTING	8	EA	\$ 750	\$ 6,000	1.000	8.0	\$ 45.00	\$ 45.00	\$ 360.00	\$ 795.00	\$ 6,360.00
		SUB-TOTAL	1	LOC LS		\$ 6,400		36.0			\$ 1,620.00	\$ 8,020.00	\$ 8,020.00

4 & # 2 EAST 5th STREET
PITTSBURG, CA

PREP BY: RGK
DATE PREP: 6/23/2006

PRELIMINARY COST ESTIMATE FOR CODE COMPLIANCE AND DAMAGE REPAIR

PREPARED BY RGK CONSTRUCTION SERVICES INC.

6/23/2006

FOR SETTLEMENT PURPOSES ONLY, PROTECTED BY EVIDENCE CODE SECTION 1119, 1124

ITEM #	DESCRIPTION	QUANTITY	UNIT	MATERIAL UNIT PRICE	MATERIAL TOTAL PRICE	LABOR UNIT MANHR	LABOR TOTAL MANHR	LABOR RATE	LABOR UNIT PRICE	LABOR TOTAL COST	UNIT PRICE	TOTAL COST
6	<u>Preliminary site observation:</u> Existing man door is not 36" wide The existing door does not provide required access											
	<u>Scope of Work</u> Remove and replace											
	<u>DEMOLITION & REPAIR</u>											
	REMOVE EXISTING DOOR AND FRAME	1	LOC	\$ -	\$ -	2.000	2.0	\$ 45.00	\$ 90.00	\$ 90.00	\$ 90.00	\$ 90.00
	INSTALL NEW DOOR AT TIME OF NEW GLAZING INSTALLATION	1	LOC	\$ 1,200	\$ 1,200	2.000	2.0	\$ 35.00	\$ 70.00	\$ 70.00	\$ 1,270.00	\$ 1,270.00
	INSTALL NEW HARDWARE	1	SET	\$ 450	\$ 450	1.000	1.0	\$ 35.00	\$ 35.00	\$ 35.00	\$ 485.00	\$ 485.00
	SUB-TOTAL	1	LOC		\$ 1,650		5.0			\$ 195.00	\$ 1,845.00	\$ 1,845.00
7	<u>Preliminary site observation:</u> Existing vehicle door does not provide adequate access											
	<u>Scope of Work</u> Remove and replace											
	<u>DEMOLITION & REPAIR</u>											
	REMOVE EXISTING DOOR AND FRAME	1	LOC	\$ -	\$ -	4.000	4.0	\$ 45.00	\$ 180.00	\$ 180.00	\$ 180.00	\$ 180.00
	PROVIDE NEW WALL FRAMING AND BRICK FAÇADE AT NEW DOOR SURROUND	1	LOC	\$ 900	\$ 900	64.000	64.0	\$ 45.00	\$ 2,880.00	\$ 2,880.00	\$ 3,780.00	\$ 3,780.00
	INSTALL NEW DOOR (ALLOW 36" DOOR)	1	LOC	\$ 1,200	\$ 1,200	2.000	2.0	\$ 45.00	\$ 90.00	\$ 90.00	\$ 1,290.00	\$ 1,290.00
	INSTALL NEW HARDWARE	1	SET	\$ 450	\$ 450	1.000	1.0	\$ 45.00	\$ 45.00	\$ 45.00	\$ 495.00	\$ 495.00
	SUB-TOTAL	1	LOC		\$ 2,550		71.0			\$ 3,195.00	\$ 5,745.00	\$ 5,745.00
8	<u>Preliminary site observation:</u> Downspout at right side elevation is not discharging to curb The existing downspout at front left corner is terminating above ground											
	<u>Scope of Work</u> Saw cut existing concrete walkway and curb. Excavate soil, install pipe daylight to curb & backfill & patch concrete											
	<u>DEMOLITION & REPAIR</u>											
	SAW CUT EXISTING WALKWAY AND CURB	1	LOC	\$ -	\$ -	8.000	8.0	\$ 45.00	\$ 360.00	\$ 360.00	\$ 360.00	\$ 360.00
	EXCAVATE TRENCH FOR NEW DRAIN LINE	3	CY	\$ -	\$ -	4.000	12.0	\$ 45.00	\$ 180.00	\$ 540.00	\$ 180.00	\$ 540.00
	INSTALL DRAIN PIPE AND DAYLIGHT THROUGH CURB.	20	LF	\$ 12	\$ 240	0.500	10.0	\$ 45.00	\$ 22.50	\$ 450.00	\$ 34.50	\$ 690.00
	CONNECT TO DOWSPOUT	1	LS	\$ -	\$ -	1.000	1.0	\$ 45.00	\$ 45.00	\$ 45.00	\$ 45.00	\$ 45.00
	BACKFILL W / COMPACTION	3	CY	\$ -	\$ -	0.750	2.3	\$ 45.00	\$ 33.75	\$ 101.25	\$ 33.75	\$ 101.25
	REPAIR CONCRETE	60	SF	\$ 2	\$ 120	0.200	12.0	\$ 45.00	\$ 9.00	\$ 540.00	\$ 11.00	\$ 660.00
	HAUL DEBRIS	1	BOX	\$ 330	\$ 330	4.000	4.0	\$ 45.00	\$ 180.00	\$ 180.00	\$ 510.00	\$ 510.00
	SUB-TOTAL	1	LOC		\$ 690		49.3			\$ 2,216.25	\$ 2,906.25	\$ 2,906.25
EXTERIOR												

4 & # 2 EAST 5th STREET
PITTSBURG, CA

PREP BY: RGK
DATE PREP: 6/23/2006

PRELIMINARY COST ESTIMATE FOR CODE COMPLIANCE AND DAMAGE REPAIR

PREPARED BY RGK CONSTRUCTION SERVICES INC.

6/23/2006

FOR SETTLEMENT PURPOSES ONLY, PROTECTED BY EVIDENCE CODE SECTION 1119, 1124

ITEM #	DESCRIPTION	QUANTITY	UNIT	MATERIAL UNIT PRICE	MATERIAL TOTAL PRICE	LABOR UNIT MANHR	LABOR TOTAL MANHR	LABOR RATE	LABOR UNIT PRICE	LABOR TOTAL COST	UNIT PRICE	TOTAL COST
	Provide fire extinguishers and cabinets											
	<u>DEMOLITION & REPAIR</u>											
	PROVIDE FIRE EXTINGUISHERS AND CABINETS	3	EA	\$ 250	\$ 750	6.000	18.0	\$ 55.00	\$ 330.00	\$ 990.00	\$ 580.00	\$ 1,740.00
	SUB-TOTAL	4,691	SF		\$ 750		18.0			\$ 990.00	\$ 0.37	\$ 1,740.00
	OTHER											
1	<u>Preliminary site observation:</u>											
	Lead paint and asbestos abatement may be required											
	<u>Scope of Work</u>											
	Allow for testing and abatement procedures											
	<u>DEMOLITION & REPAIR</u>											
	Allowance for testing and abatement	1	LS	\$ 15,000	\$ 15,000	120.00	120.0	\$ 55.00	\$ 6,600.00	\$ 6,600.00	\$ 21,600.00	\$ 21,600.00
	SUB-TOTAL	4,691	SF		\$ 15,000		120.0			\$ 6,600.00	\$ 4.60	\$ 21,600.00

Appendix E

Keyser Marston Associates Report



KEYSER MARSTON ASSOCIATES
ADVISORS IN PUBLIC/PRIVATE REAL ESTATE DEVELOPMENT

November 22, 2006

ADVISORS IN:
REAL ESTATE
REDEVELOPMENT
AFFORDABLE HOUSING
ECONOMIC DEVELOPMENT

Ms. Ursula Luna-Reynosa
City of Pittsburg
65 Civic Avenue
Pittsburg, CA 94565-3814

SAN FRANCISCO
A. JERRY KEYSER
TIMOTHY C. KELLY
KATE EARLE FUNK
DEBBIE M. KERN
ROBERT J. WETMORE

Re: Feasibility Analysis for the Retention of Scampini Building (2-4 East 5th St.)
(As a component of SEIR for Vidrio Project)

LOS ANGELES
CALVIN E. HOLLIS, II
KATHLEEN H. HEAD
JAMES A. RABE
PAUL C. ANDERSON
GREGORY D. SOO-HOO

Dear Ms. Luna-Reynosa:

Per our contract, we are providing a summary result of Keyser Marston Associates (KMA), Inc.'s feasibility analysis for the retention of the approximately 5,200 net square foot Scampini Building, located on Black Diamond Avenue, between 5th and 6th Streets, in Old Town Pittsburg.

SAN DIEGO
GERALD M. TRIMBLE
PAUL C. MARRA

Background/Context

As we understand it, AF Evans Development, Inc. has entered into a Disposition and Development Agreement (DDA) to construct the Vidrio Project, a mixed use development in the core of Old Town Pittsburg, consisting of 195 residential units and approximately 32,000 sq.ft. of commercial space on three city blocks between 5th and 8th Street and fronting on Railroad Avenue. The project, as proposed by the developer, anticipates the removal of the Scampini Building, which is one of about 23 remaining contributory buildings in the New York Landing Historic District. Although the City has approved the project as proposed with a statement of overriding considerations, the project's EIR has been challenged under the claim that "substantial evidence" has not been shown that the building cannot be feasibly retained. Consequently, the City entered into a settlement agreement in which it agreed to prepare a supplemental EIR and reevaluate alternatives of retaining the Scampini Building.

Two basic options have been identified as follows:

1. Retain 100% of the Scampini building, which is expected to result in the loss of 11 residential units in the Vidrio Project;

2. Preserve two facades (or roughly about 70%) of the Scampini Building, which will result in the loss of two residential units in the Vidrio Project. (Only two units are lost because the Developer designed a new unit mix, i.e., replacing larger townhomes with smaller units.)

Both of these retention alternatives, therefore, will have impacts on the project economics of the Vidrio Project.

KMA Assignment

KMA's assignment is two-fold: The first is to prepare a financial feasibility analysis of the retention of the Scampini Building itself under the two above retention scenarios; the second is to evaluate the financial impacts of retaining the Scampini Building on the feasibility of Building A and of the entire 3-block Vidrio Project.

These analyses will be prepared for the Scampini Building Only, Building A, and the entire Vidrio Project (Buildings A, B and C) under the following three scenarios:

- *Scenario 1:* Demolish Scampini Building to construct new residential development (as part of Vidrio Project.) Total residential units in Building A = 66 units.
- *Scenario 2:* Rehabilitate Scampini Building up to new construction equivalent standards generally consistent with the 2001 CA Building Code, with the retention of two facades. Under this scenario, about 70% of the Scampini building would be retained and physically incorporated into the Vidrio project and the developer would be responsible for the rehabilitation/construction up to new construction standards. Estimated net square footage of Scampini Building = 3,700 sq.ft.; total residential units in Building A = 64 units.
- *Scenario 3:* Rehabilitate Scampini Building to standards generally consistent with the 2001 CA Historical Building code, with Agency retaining ownership. Under this scenario, the Scampini building is separate from the Vidrio Project and 100% retained by the Agency. The rehabilitation would be the Agency's responsibility. Estimated net square footage of Scampini Building = 5,200 sq.ft.; total residential units in Building A = 55 units.

Work Completed by KMA and its subconsultant, ARG

To assist on the historical architecture review of the Scampini Building for commercial use, KMA subcontracted with Architectural Resources Group (ARG)¹ and conducted a walk-through of the building with ARG. ARG's findings are attached to this summary letter report and the results have been incorporated into KMA's analysis.

Additionally, KMA has undertaken the following tasks:

- Conducted a walk-through of the property with ARG to assess the level of rehabilitation work needed to transform the building into marketable commercial space.
- Reviewed cost data provided by the Agency (RKG's Preliminary Cost Estimate for Code Compliance and Damage Repair, dated 6/23/2006 and Biggs, Cardosa Associates, Inc.'s Engineering Report – Unreinforced Masonry Building Report, dated 6/26/06, and Associated Right of Way Services, Inc.'s Appraisal of Caprio Property, dated May 2006.)
- Reviewed cost data provided by the Developer (Johnstone Moyer, Inc. for Retrofit CMU Retail Building, dated 3/25/05).
- Reviewed financial pro forma information prepared by AF Evans.
- Researched our files and industry data regarding the development costs and return parameters for comparable developments in the Bay Area.
- Researched market rent of comparable properties in Pittsburg and surrounding communities, verified through interviews with local brokers.
- Reviewed existing, planned and proposed developments in the area.
- Prepared financial analysis of the Scampini Building, Building A and the overall Vidrio Project.

¹ ARG was not asked to evaluate the historical significance of the Scampini Building, but to assume that the building is historic.

Summary of Findings and Conclusions

Regardless of the level of rehabilitation, retention of the Scampini Building would not be financially feasible based on the real estate analysis and for the following reasons:

- The significant costs of rehabilitating the Scampini Building up to either new construction standards (\$385/SF under Scenario 2) or historic building code standards (\$232/SF under Scenario 3) cannot be supported by the negative profit margin projected. (See Summary Table A.)
- The projected profit returns for Building A and the Vidrio project (3.6% range) are expected to be below the Developer's target return level (5.4% for Building A only and 6.4% for the entire Vidrio project) if the Scampini Building is retained under Scenarios 2 and 3.
- A review of Vidrio to see if "excess" profits could contribute to the financial feasibility of Scampini indicates that the Developer's current projected return of 5.4% to 6.4% is lower than typical target returns on cost that most developers of for-sale residential over podium parking projects would accept, which are in the 15%² plus range. The Developer appears willing to accept these lower than typical returns, despite the pioneering nature of this high density residential with retail project in a downtown that currently has well over 25% ground level vacancy.
- Further, the rehabilitation scenarios would require additional Agency assistance in the range of \$2 to \$3 million for the Vidrio project to achieve the Developer's target returns. (See Summary Table A.)

Thus, based on our analytical results, KMA concludes that the retention of the Scampini Building would not be feasible.

Feasibility Analysis

Estimated Development Costs

For the Scampini Building, the new construction standards cost estimates for Scenario 2 are based on Johnstone Moyer, Inc.'s Retrofit CMU Retail Building, dated 3/25/05, provided by the Developer. The code compliance rehabilitation cost estimates for

² This is the return rate generally expected by developers for similar types of projects given the consideration of a number of risk/reward factors, i.e., construction cost risk, probability of achieving pro forma income, etc. In general, the greater the risk, the greater the anticipated return.

Scenario 3 is based on estimates provided by RKG's Preliminary Cost Estimate for Code Compliance and Damage Repair, dated 6/23/2006 and Biggs, Cardosa Associates, Inc.'s Engineering Report – Unreinforced Masonry Building Report, dated 6/26/06. These costs were reviewed by ARG and KMA and modified based on our experience with similar types of projects. (For instance, several hard cost items were proposed by ARG to be modified or added to Scenarios 2 and 3 in order to preserve more of the historical architectural elements of the building, as described in the attached ARG's 11/05/06 Memorandum. KMA also added some standard soft costs, such as contingencies and financing, which were not included in the engineer's estimates, as noted in the footnotes in the Summary Table B.)

For the Vidrio Project, the construction cost estimates assumed in KMA's analysis are based on AF Evans Development's pro formas, which were reviewed for reasonableness by KMA and ARG. KMA also compared the Developer's estimates with the cost ranges of comparable residential podium projects which KMA then verified with selected major residential/commercial developers in the Bay Area.

Projected Commercial Value

Commercial rent assumptions were based on market research, interviews with developers, and discussion with the project appraiser. The result of KMA's research indicates that rents in Old Town Pittsburgh generally range from below \$1.00 per sq.ft. for older spaces in less desirable locations to \$2.00 plus per sq.ft. for newer buildings on Railroad Avenue. The rent levels are also a function of the level of tenant improvements negotiated between the landlord and the tenant.

For the Scampini Building, the rent range assumed in KMA's analysis of \$1.00 (improved to historic building code standards) to \$1.25 (improved to "new" standard) per sq.ft. per month, gross, reflects a standard level of tenant improvements (vanilla shell) expected to be needed in order to market the space. The types of tenants likely to be targeted would primarily be local professionals (e.g., real estate, technical) offices, designer lofts, and/or service uses. Retail in this space is unlikely given that the Scampini Building is not located on the City's main retail street, Railroad Avenue, where significant vacancy currently exists, and Vidrio will be adding more space in the future.

For the Vidrio Project, projected commercial rents are assumed to be on the higher end of the range in Old Town Pittsburgh, or about \$2.00 plus per sq.ft. as they are newly-constructed spaces, fronting mostly on Railroad Avenue.

The landlord's share of the operating expenses are projected to be slightly higher for the Scampini Building than for the new commercial spaces in the Scampini Building under

the expectation that it is typically more difficult to pass through some of the operating costs to lower-rent paying tenants.

Project Returns

The return analysis is based on the projected Profit Margin³, or the difference between the estimated development (or rehabilitation/construction) costs and the projected project values³. The Profit Margin is also estimated as a percentage of Development Costs to determine if the project produces an acceptable return, which typically reflects the cost of money and the level of risks, to the developer. For a for-sale residential podium project such as the Vidrio Project, developer's industry standard target rate of return on cost would typically be 15% plus. AF Evans has indicated that, with Agency assistance per the DDA, they are willing to accept a below market profit margin return on costs - in the range of 5.4%⁴ (for Building A) and 6.4% (for entire Vidrio project) under Scenario 1 (Demo/New Residential).

For the Scampini Building, the estimated development costs are expected to exceed the projected commercial value, resulting therefore in a loss (negative profit margin).

For the Vidrio project, Building A also is expected to result in a negative profit margin under Scenarios 2 and 3. The overall project (Buildings A, B and C, with Scampini Building included under Scenario 2) is projected to result in a profit margin of about 3.6%⁵ for both Scenarios 2 and 3 (compared to the Developer's 6.4% target under Scenario 1.)

Thus, these returns indicate that neither of the two scenarios that retain the Scampini Building would enable the developer to achieve the already below market profit margin currently targeted above, and are unlikely to achieve the higher, industry standard 15% plus return in the current market for similar types of projects.

Additional Agency Assistance Needed

For the purpose of the feasibility analysis, KMA estimated the additional Agency assistance needed to provide a "feasible" return to the two rehabilitation scenarios, Scenarios 2 (New Construction Standards) and Scenario 3 (Historic Building Standards), assuming the Developer's 5.4% and 6.4% as threshold profit margins. This analysis

³ Profit Margin = Projected Project Value less Estimated Rehabilitation/Construction costs.

⁴ Calculated as Profit Margin divided by Estimated Rehabilitation/Construction Costs.

⁵ Percentages are calculated as follows: Profit Margin (Building's Capitalized Value less Building's Rehabilitation/Construction Costs) divided by Building's Rehabilitation/Construction Costs.

indicates that additional Agency assistance would need to be in the range of \$2 to \$3 million, or a cost of approximately \$622 per sq.ft. (Scenario 2) and \$519 per sq.ft. (Scenario 3) for the Scampini Building.

Summary of Analytical Results

A summary of the estimated development costs, project value and profit returns is shown in the chart below and in the attached tables.

Scampini Building Only

	<i>Scenario 1: Scampini Demolished</i>	<i>Scenario 2: AF Evans Rehabs 70% of Bldg. to "new" standard</i>	<i>Scenario 3: Agency Rehabs 100% of Bldg to Historic Building Code Standards</i>
Estimated Dev. Costs	NA	\$1.4 M	\$1.2 M
Estimated Project Value ⁶	NA	\$.4 M	\$.7M
Estimated Profit Margin	NA	(\$1.0 M)	(\$.5 M)
<i>As % of Dev. Costs</i>	NA	Negative	Negative

Building A (with Scampini included only in Scenario 2.)

	<i>Scenario 1: Scampini Demolished</i>	<i>Scenario 2: AF Evans Rehabs 70% of Bldg. to "new" standard</i>	<i>Scenario 3: Agency Rehabs 100% of Bldg to Historic Building Code Standards</i>
Est. Net Dev. Costs	\$29.5 M	\$31.5 M	\$27.7 M
Estimated Project Value	\$31.1 M	\$30.8 M	\$26.8 M
Estimated Profit Margin	\$ 1.6 M	(\$.7 M)	(\$.9 M)
<i>As % of Dev. Costs</i>	5.4%	Negative	Negative

⁶ Project Value is estimated based on the potential rent achievable and capitalized.

Total Vidrio Project (Buildings A, B & C)

	<i>Scenario 1: Scampini Demolished</i>	<i>Scenario 2: AF Evans Rehabs 70% of Bldg. to "new" standard</i>	<i>Scenario 3: Agency Rehabs 100% of Bldg to Historic Building Code Standards</i>
Est. Net Dev. Costs	\$86.3 M	\$88.3 M	\$84.4 M
Estimated Project Value	\$91.9 M	\$91.5 M	\$87.5 M
Estimated Profit Margin	\$5.6 M	\$3.2 M	\$3.1 M
<i>As % of Dev. Costs</i>	6.4%	3.6%	3.6%

Caveats and Assumptions

- Keyser Marston Associates, Inc. (KMA) has made extensive efforts to confirm the accuracy and timeliness of the information contained in this document. Such information was compiled from a variety of sources deemed to be reliable including the City of Pittsburgh Redevelopment Agency and its consultants (RKG Construction Services, Inc., Biggs Cardosa Associates, Inc., Associated Right of Way Services, Inc.), real estate brokers (Main Street Marketing Services), and other third parties (Johnstone Moyer, Inc.). Although KMA believes all information in this document is correct, it does not guarantee the accuracy of such and assumes no responsibility for inaccuracies in the information provided by third parties.
- The accompanying projections and analyses are based on estimates and assumptions developed using currently available economic data, project specific data and other relevant information. It is the nature of forecasting, however, that some assumptions may not materialize and unanticipated events and circumstances may occur. Such changes are likely to be material to the projections and conclusions herein and, if they occur, require review or revision of this document.
- The analysis assumes that neither the local nor national economy will experience a recession. If an unforeseen change occurs in the economy, the conclusions contained herein may no longer be valid.

- Any estimates of development costs, capitalization rates, income and/or expense projections are based on the best available project-specific data, experiences with similar types of projects, and discussions with brokers and other real estate professionals. They are not intended to be projections of the future for the specific project. No warranty or representation is made that any of the estimates or projections will actually materialize.
- No guarantee is made as to the possible effect on development of current or future federal, state, or local legislation including environmental, ecological or judicial matters.

Sincerely,

KEYSER MARSTON ASSOCIATES, INC.



A. Jerry Keyser

APPENDICES

Summary Tables A & B
Scampini Tables
Architectural Resources Group's Scampini Building Memorandum.
Vanilla Shell Definition

**Summary Table A.
Key Assumptions and Findings
Scampini Building/Vidrio Project
City of Pittsburgh, CA**

Key Assumptions	SCENARIO 1. Demolish for Resid.	SCENARIO 2. New Constr. Standards	SCENARIO 3. Hist. Bldg. Stanadards
1. Scampini Building			
Net SF of Scampini Building	(Totally Demolished)	3,700 SF ¹	5,200 SF
Construction/Rehab Level	<i>Demolish Scampini to Construct New Residential Units</i>	<i>Preserve Façade, Remove Back Walls, Rehab to New Constr. Standards</i>	<i>Preserve Entire Bldg., Rehab to Historic Building Code Standards</i>
Building Ownership	Vidrio Developer/ A.F. Evans	Vidrio Developer/ A.F. Evans	RDA
Tenant Improvement Level	NA	Vanilla Shell	Vanilla Shell
2. Building A			
Total Residential Units	66 Dus	64 Dus	55 Dus
Scampini Incorporated into Vidrio	No	Yes	No
Key Findings			
1. Scampini Building			
Estimated Costs (NSF)			
Land	NA	\$0	\$0
Rehabilitation/Construction	NA	\$246 ²	\$124 ⁵
T.I. Allowance/Vanilla Shell	NA	\$50 ³	\$50 ³
Indirects	NA	\$78 ³	\$52 ³
Financing	NA	\$11 ⁴	\$7 ⁸
Estimated Costs (NSF)	NA	\$385	\$232
Total Estimated Costs		\$1,423,876	\$1,205,824
Potential Rent (/SF/Mo., NNN)	NA	\$1.25	\$1.00
Capitalized Value (/SF)	NA	\$116	\$136
Total Project Value		\$430,000	\$708,000
Estimated Profit Margin/Loss	NA	(\$994,000)	(\$498,000)
<i>Profit As % of Costs</i>	NA	<i>Negative</i>	<i>Negative</i>
2. Building A			
Estimated Total Dev. Costs	\$40,314,000	\$40,909,000	\$38,474,000
<i>(Plus) Scampini Rehab/Constr.</i>	\$0 ⁹	\$1,424,000	\$0 ⁹
<Less> Agency Assistance	(\$10,800,000)	(\$10,800,000)	(\$10,800,000)
Net Development Costs	\$29,514,000	\$31,533,000	\$27,674,000
Estimated Total Project Value	\$31,117,000	\$30,363,000	\$26,788,000
<i>(Plus) Scampini Building</i>	\$0	\$430,000	\$0
Total Project Value	\$31,117,000	\$30,793,000	\$26,788,000
Estimated Profit Margin/Loss	\$1,603,000	(\$740,000)	(\$886,000)
<i>Profit As % of Costs</i>	5.4%	<i>Negative</i>	<i>Negative</i>
Additional Agency Investment Needed⁶			
Scampini Building Rehab/Constr.	\$0	Incl.	\$498,000
Additional Required for Dev. Target	\$0	\$2,300,000	\$2,200,000
Additional Agency Invest. Needed⁷	\$0	\$2,300,000	\$2,698,000
Per SF of Scampini Bldg.	NA	\$622	\$519

¹ Estimates back walls of 75 ft. long and 20' deep (1500 sq.ft.) are removed in this scenario per Developer's plans.

² Based on cost estimate prepared by Johnstone Moyer, Inc. for Retrofit CMU Retail Building dated 3/25/05, with modified and/or additional costs proposed by ARG in its memorandum report on the Scampini Building dated 11/6/06.

³ KMA estimates based on industry ranges and discussions with developers.

⁴ KMA estimates, assuming current interest rate and 9 months construction period.

⁵ Based on Preliminary Cost Estimate for Code Compliance & Damage Repair prepared by RGK, dated 6/23/2006.

Based on Engineering Report - Unreinforced Masonry Building Report prepared by Biggs, Cardosa Associates, Inc., dated 6/26/06, with additional costs proposed by ARG in its memorandum report on the Scampini Building dated 11/6/06.

⁶ In addition to Agency commitments per the DDA.

⁷ Measured against 5.4% return on costs rather than against the \$1.6 million in Scenario 1.

⁸ Agency cash investment is treated as opportunity costs for this analysis. Same financing assumption as for New Constr. Standards.

⁹ The Scampini Building is demolished (Scenario 1) or not included in Vidrio Project (Scenario 3); thus no cost to Vidrio is assumed.

Summary Table B.
Comparison of Scampini Pro Forma
Vidrio Project
City of Pittsburgh, CA

Scampini Building Only

	SCENARIO 1. <u>Demolish for Resid.</u>	SCENARIO 2. <u>New Constr. Standards</u> ¹	SCENARIO 3. <u>Hist. Bldg. Stanadards</u> ²		
Site Area:	0.69 Ac.	0.69 Ac.	0.69 Ac.		
Total Net Office/Retail Leasible Area	0 SF	3,700 SF	5,200 SF		
Parking	NA	NA	NA		
				<i>Per SF</i>	<i>Per SF</i>
I. Land Costs		\$1		\$1	\$0.00
II. Direct Costs					
Rehabilitation/Construction Costs		\$827,875		\$480,435	\$92
General Conditions ³				\$109,003	\$21
Hard Costs Contingency ⁴		\$83,000		\$54,044	\$10
Total Directs		\$910,875		\$643,482	\$124
Tenant Improvement/Vanilla Shell		\$185,000		\$260,000	\$50
III. Indirects					
A & E, Consultants		\$50,000		\$75,484	\$15
Permit & Fees (Allowance)		\$20,000		\$19,857	\$4
Property Taxes (Ground Lease - During Constr.)		\$5,000		\$0	\$0 ⁶
Insurance ⁴		\$33,000		\$47,000	\$9
Management/Overhead ⁴		\$37,000		\$52,000	\$10
Profit ⁴		\$41,000		\$0	\$0
Advertising/Marketing/Leasing (Allowance)		\$10,000		\$10,000	\$2
Soft Costs Contingency		\$91,000		\$64,000	\$12
Subtotal Indirects		\$287,000		\$268,341	\$52
IV. Financing (Before Assistance)					
Financing Fees		\$10,000		\$8,000	\$2
Interest During Construction		\$31,000		\$26,000	\$5
Subtotal Financing		\$41,000		\$34,000	\$7
V. TOTAL DEVELOPMENT COSTS		\$1,423,876	\$385	\$1,205,824	\$232
VI. PROJECTED VALUE ON SALE⁷		\$430,000	\$116	\$708,000	\$136
Commercial Rent Basis		\$1.25/SF/Mo. Gross		\$1.00/SF/Mo. Gross	
VII. PROFIT MARGIN		(\$994,000)	(\$269)	(\$498,000)	(\$96)
As % of Development Costs		Negative		Negative	

¹ Based on cost estimate prepared by Johnstone Moyer, Inc. for Retrofit CMU Retail Building dated 3/25/05, unless otherwise indicated. Includes hard cost modifications and/or additions as recommended in ARG's 11/05/06 memorandum.

² Based on Preliminary Cost Estimate for Code Compliance & Damage Repair prepared by RGK, dated 6/23/2006, and Engineering Report - Unreinforced Masonry Building Report prepared by Biggs, Cardosa Associates, Inc. dated 6/26/06, unless otherwise indicated. Includes hard cost modifications and/or additions as recommended in ARG's 11/05/06 memorandum.

³ Typically includes fencing, street closures, portables, etc.

⁴ KMA estimates based on industry ranges.

⁵ Assumes 7.5% interest rate, 55% take-downs, and 9 months construction.

⁶ Assumes Agency retains ownership.

⁷ Based on capitalization of projected stabilized rent.

Scampini Table 1a.
Estimated Development Costs
Vidrio Project
City of Pittsburg, CA

New Construction Standards

Site Area:	0.14 Ac.	6,250 SF (Est.)		
SF Common Area	0 SF			
Office/Retail	3,700 SF			
Total Net Leasible Area	3,700 SF			
Parking - Podium	NA			
		PNSF	Total	% Direct
I. Land Costs (Waived)		\$0.00	\$1	0%
II. Direct Costs ¹				
Demolition ²	1,500 SF	\$5.00	\$8,000	
Site Work		\$15.80	\$58,450	
Concrete		\$0.64	\$2,370	
CMU Replacement		\$1.35	\$5,000	
Metal (Rebar, Tube Steel Bracing)		\$135.08	\$499,795	
Wood & Plastics		\$2.44	\$9,010	
Roofing & Waterproofing				
Roofing		\$2.15	\$7,950	
Sheet Metal Flashing & Trim		\$2.59	\$9,600	
Firestopping & Caulking		\$0.54	\$2,000	
Storefront removal and replacement w/glazed, tempered glass		\$6.49	\$24,000 ⁵	
Refurbish existing wood woodows		\$2.16	\$8,000 ⁵	
Retain and refurbish existing wood service doors		\$1.54	\$5,700 ⁵	
Perimeter brick wall metal stud furring and insulation		\$1.62	\$6,000 ⁵	
Ceiling cavity insulation		\$1.00	\$4,000 ⁵	
Retain and refurbish existing pressed tin ceiling		\$5.41	\$20,000 ⁵	
Finishes				
Gypsum Board		\$1.35	\$5,000	
Exterior Façade Allowance		\$40.54	\$150,000	
Painting		\$0.81	\$3,000	
Subtotal		\$223.75	\$827,875	
Hard Costs Contingency ³	10% of Directs	\$22.43	\$83,000	
Total Directs		\$246.18	\$910,875	100%
Tenant Improvements/Vanilla Shell (Allowance) ²		\$50.00	\$185,000	
III. Indirects				
A & E, Consultants ¹		\$13.51	\$50,000	5%
Permit & Fees (Allowance) ³		\$5.41	\$20,000	2%
Property Taxes (During Constr.) ⁴	1.07%	\$1.35	\$5,000	1%
Insurance ³		\$9.00	\$33,000	4%
Management/Overhead ³		\$10.00	\$37,000	4%
Profit ³		\$11.00	\$41,000	5%
Advertising/Marketing/Leasing (Allowance) ³		\$2.70	\$10,000	1%
Soft Costs Contingency ³	10% of Directs	\$24.59	\$91,000	10%
Subtotal Indirects		\$77.57	\$287,000	32%
IV. Financing				
	\$996,000 ³			
- Equity Amount (Assumes 30%)	\$428,000 ³			
Financing Fees	1.0% ⁴	\$2.70	\$10,000	1%
Interest During Construction	7.5% interest			
	9 mos. 55% Take-Out	\$8.38	\$31,000	3%
Subtotal Financing		\$11.08	\$41,000	5%
IV. TOTAL DEVELOPMENT COSTS		\$384.86	\$1,424,000	

¹ Based on cost estimate prepared by Johnstone Moyer, Inc. for Retrofit CMU Retail Building dated 3/25/05, unless otherwise indicated.

² Estimated by ARG and KMA, based on Vanilla Shell definition (attached.)

³ KMA estimates.

⁴ Assumes property transferred to Vidrio developer. Property tax during construction is estimated at 1.07% of direct costs for 6 months.

⁵ Additional costs proposed by ARG in its memorandum report on the Scampini Building dated 11/6/06.

Scampini Table 1b.
 Estimated Commercial Space Value
 Vidrio Project
 City of Pittsburg, CA

New Construction Standards

I. Commercial Income			
Building A Retail	3,700 NSF ¹	\$15.00 /SF (Gross) ²	\$56,000
		\$1.25 /SF/mo.	\$56,000
II. Gross Effective Income			
<Less> Vacancy & Collection Loss ²	7%		(\$4,000)
			\$52,000
III. Operating Expenses²			
Real Estate Taxes	1.07%	(\$4.05) /SF	(\$15,000)
Real Estate - Special Assessment	(\$0.32) /SF	(\$0.32) /SF	(\$1,200)
Insurance	\$0.25 /SF	(\$0.24) /SF	(\$900)
Management	1.50% EGI	(\$0.22) /SF	(\$800)
Capital Reserves	1.50% EGI	(\$0.22) /SF	(\$800)
Total Operating Expenses			(\$18,700)
IV. Net Operating Income			
		\$9.00 /SF	\$33,300
		\$0.75 /SF/Mo.	
V. RETURN ON COSTS			
			2.3%
VI. PROJECTED VALUE ON SALE			
<Less> Development Costs	7.75% Cap Rate ³	\$116.22 /SF	\$430,000
			(\$1,424,000)
VII. PROFIT MARGIN			
<i>As % of Development Costs</i>		(\$268.65) /SF	(\$994,000)
			Negative

¹ Based on discussions with appraiser, rent research, and interviews with local brokers.

² Based on Associated Right of Way Services, Inc. Appraisal of Caprio Property, dated May 2006.

³ Based on industry ranges of entry capitalization rates estimated 1st stabilized year for neighborhood retail.

Scampini Table 2a.
Estimated Development Costs
Vidrio Project
City of Pittsburg, CA

Historic Building Code Standards

Site Area:	0.14 Ac.	6,250 SF (Est.)		
SF Common Area	0 SF			
Office/Retail	5,200 SF			
Total Net Leasible Area	5,200 SF			
Parking - Podium	NA			
		PNSF	Total	% Direct
I. Land Costs (Waived)		\$0.00	\$1	0%
II. Direct Costs				
Code Compliance & Damage Repair ¹				
Front Elevation (steel posts, window glazing, downspouts)		\$6.72	\$34,966	
Right Side Elevation (glazing, door access, downspouts)		\$8.18	\$42,516 ⁶	
Left and Rear Elevation (brick grout joints)	(By Others)	\$0.00	\$0	
Roof (new plywood sheathing)		\$11.38	\$59,199	
Perimeter brick wall frame & insulation		\$1.15	\$6,000 ⁷	
Ceiling insulation		\$1.00	\$5,000 ⁷	
Interior (content removal, ADA, elect., HVAC, signage, fire safety)		\$21.61	\$112,391 ⁸	
Other (Haz Mat! Removal Allowance)		\$4.15	\$21,600	
Subtotal		\$54.17	\$281,672	
Seismic Retrofit ²				
Access Demolition		\$1.15	\$6,000	
Concrete Break & Removal		\$0.78	\$4,080	
Excavation		\$1.26	\$6,555	
Footings		\$4.69	\$24,385	
Tension Anchors		\$6.36	\$33,048	
Combination Anchors		\$3.14	\$16,320	
Masonry Repair (Allowance)		\$2.31	\$12,000	
Moment Frame		\$11.06	\$57,500	
Shotcrete Wall		\$3.58	\$18,630	
Shoring		\$0.52	\$2,700	
Parapet Bracing		\$2.80	\$14,545	
Secondary Supports		\$0.19	\$1,000	
Interior Finishes (Allowance)		\$0.38	\$2,000	
Subtotal		\$38.22	\$198,763	
General Conditions ^{1,2}		\$20.96	\$109,003	
Hard Costs Contingency ^{1,2}		\$10.39	\$54,044	
Total Directs		\$123.75	\$643,482	100%
Tenant Improvements/Vanilla Shell (Allowance) ³		\$50.00	\$260,000	
III. Indirects				
A & E, Consultants ^{1,2}		\$14.52	\$75,484	12%
Permit & Fees (Allowance) ^{1,2}		\$3.82	\$19,857	3%
Property Taxes (During Constr.) ⁴	Agency-Owned	\$0.00	\$0	0%
Insurance ⁵		\$9.00	\$47,000	7%
Management/Overhead ⁵		\$10.00	\$52,000	8%
Profit ⁵	Agency-Dev.	\$0.00	\$0	0%
Advertising/Marketing/Leasing (Allowance) ⁵		\$1.92	\$10,000	2%
Soft Costs Contingency ⁵	10% of Directs	\$12.31	\$64,000	10%
Subtotal Indirects		\$51.60	\$268,341	42%
IV. Financing ⁵				
\$844,000 ⁴				
- Equity Amount (Agency's Opportunity Cost of \$)		\$362,000 ⁴		
Financing Fees		1.0% ⁴	\$8,000	1%
Interest During Construction	9 mos. 55% Take-Out	7.5% interest	\$26,000	4%
Subtotal Financing		\$6.54	\$34,000	5%
IV. TOTAL DEVELOPMENT COSTS		\$231.92	\$1,206,000	

¹ Based on Preliminary Cost Estimate for Code Compliance & Damage Repair prepared by RGK, dated 6/23/2006.

² Based on Engineering Report - Unreinforced Masonry Building Report prepared by Biggs, Cardosa Associates, Inc., dated 6/26/2006.

³ Estimated by ARG and KMA, based on Vanilla Shell definition (attached.)

⁴ Assumes Agency retains ownership.

⁵ KMA estimates.

⁶ Adjustment by ARG for storefront removal and replacement. (Replaced RKG's #4 estimate of \$9,460.)

⁷ Additional items proposed by ARG.

⁸ Adjustment by ARG for retaining ceiling. (Replaced RKG's #2 estimate of \$30,552.)

Scampini Table 2b.
Estimated Commercial Space Value
Vidrio Project
City of Pittsburg, CA

Historic Building Code Standards

I. Commercial Income			
Building A Retail	5,200 NSF	\$12.00 /SF (Gross) ¹	\$62,000
		\$1.00 /SF/mo.	\$62,000
II. Gross Effective Income			
<Less> Vacancy ²	7%		(\$4,000)
			\$58,000
III. Operating Expenses³			
Real Estate Taxes	0.00%	\$0.00 /SF	\$0
Real Estate - Special Assessment	\$0.00 /SF	\$0.00 /SF	\$0
Insurance	\$0.25 /SF	(\$0.25) /SF	(\$1,300)
Management	1.50% EGI	(\$0.17) /SF	(\$900)
Capital Reserves	1.50% EGI	(\$0.17) /SF	(\$900)
Total Operating Expenses			(\$3,100)
IV. Net Operating Income			
		\$10.56 /SF	\$54,900
		\$0.88 /SF/Mo.	
V. RETURN ON COSTS			
			4.6%
VI. PROJECTED VALUE ON SALE			
<Less> Development Costs	7.75% Cap Rate ³	\$136.15 /SF	\$708,000
			(\$1,206,000)
VII. PROFIT MARGIN			
<i>As % of Development Costs</i>		(\$95.77) /SF	(\$498,000)
			Negative

¹ Based on discussions with appraiser, rent research, and interviews with local brokers.

² Based on Associated Right of Way Services, Inc. Appraisal of Caprio Property, dated May 2006.

³ Based on industry ranges of entry capitalization rates estimated 1st stabilized year for neighborhood retail.



ARCHITECTURAL RESOURCES GROUP

Architects, Planners & Conservators, Inc.

MEMORANDUM

To: **Jerry Keyser, Marilyn Chu**
Keyser Marston Associates
55 Pacific Avenue Mall
San Francisco, CA 94111

Pier 9, The Embarcadero
San Francisco
California
94111
415.421.1680
fax 415.421.0127
www.argsf.com

Project: Scampini Building
Project No: 06179
Date: November 6, 2006
Phone: 415-398-3050
Fax: 415-397-5065
Via: E-mail

Remarks:

FINAL DRAFT

Architectural Resources Group visited the Scampini Building on November 1, 2006, and we have reviewed documents pertaining to a possible renovation of the building, including:

- Preliminary Inspection Report, CSG Consultants, May 25, 2006
- Preliminary Cost Estimate, RGK Construction Services, June 23, 2006
- Structural Investigation, Biggs Cardosa Associates, June 26, 2006
- Structural Cost Estimate, Biggs Cardosa Associates, June 26, 2006
- Retrofit Retail Building Cost Estimate, Johnstone Moyer, March 25, 2005
- Drawings by Dahlin Group Architects, describing the design of Alternate #2

There are three alternate scenarios presently under discussion and analysis:

- #1 – Demolish the entire building.
- #2 – Demolish the southeast quadrant of the building (approximately 1,500 sq. ft.).
- #3 – Preserve the entire building.

There are discrepancies among the documents as to the building square footage. Based on available information, the following square footages should be used for consistency:

- | | | |
|------------------------|-------------------------------|-----------------------------|
| ▪ Site Parcel Area: | 50 ft. x 125 ft. = | 6,250 sq.ft. |
| ▪ Gross Building Area: | 44 ft. x 125 ft. = | 5,500 sq.ft. (Alternate #3) |
| ▪ BOMA Leasable Area: | 42 ft. x 124 ft. = | 5,200 sq.ft. (Alternate #3) |
| ▪ Gross Building Area: | 5,500 sq.ft. – 1,500 sq.ft. = | 4,000 sq.ft. (Alternate #2) |
| ▪ BOMA Leasable Area: | 5,200 sq.ft. – 1,500 sq.ft. = | 3,700 sq.ft. (Alternate #2) |

The Scampini Building is a contributing structure to the Pittsburg downtown historic district. The following may be considered character defining historic features and should be preserved if the building is either wholly or partially retained per Alternates #2 or #3:

- Brick masonry bearing wall construction on all four facades
- Decorative brickwork cornices and opening headers on the north and west facades
- Original high-sill wood windows in arched openings on the west side facade
- Original steel transom windows above storefronts on the north and west facades
- Original wood service doors in the arched opening at the center west façade
- Original pressed tin ceilings and cove moldings throughout the structure

The following features are later non-historic modifications and should be removed if the building is either wholly or partially retained per Alternates #2 or #3:

- Circa-1960's aluminum and brick storefronts on the north and west facades
- All interior non-bearing partition walls and perimeter wall furring
- All interior dropped acoustical tile or gypsum board ceilings
- All toilet rooms, plumbing fixtures, and floor coverings
- All mechanical, plumbing, and electrical systems

The following are some of our concerns and comments regarding the CSG/RSK report:

- In the context of the projected development of the entire city block, the CSG/RSK scenario of "code compliance and damage repair" may not be a desirable or realistic strategy for the reuse of the building, primarily because it's unlikely that any future tenants would want the existing layout of spaces. The scenario describes retaining the circa-1960's storefronts and keeping the present arrangement of interior rooms. It also recommends replacing existing windows with new double glazed units, yet doesn't address adding thermal insulation to the building. The scenario calls for demolition of the historic pressed tin ceilings and replacement with acoustical grid ceilings.

The following are some of our concerns and comments regarding the Biggs Cardosa report:

- The structural retrofit drawings show "infill windows (4 minimum)" with a shotcrete shear wall at the 8 arched windows on the west façade. This is an architecturally insensitive and inappropriate solution to providing lateral bracing along the west wall. We agree with the assessment that the previously transferred interior column should be restored. In addition, the two steel moment frames at the north wall and mid-building are an appropriate solution to providing lateral bracing in the east-west direction.

The following are some of our comments pertaining to the Alternate #2 design:

- The new concrete walls that form the two sides of the 1,500 sq.ft. parking garage area “cut-out” have the potential to significantly reduce the seismic upgrade costs of the Scampini Building. These new concrete walls, which support the housing floors above, can take significant amounts of both north-south and east-west lateral loads of the Scampini Building. It’s likely that both the proposed shotcrete shear wall covering the west windows and the mid-building moment frame would be eliminated. The moment frame at the north wall storefronts is likely to be the only lateral element that would need to be added. The new plywood roof diaphragm and its connection to the existing masonry walls would still be required.

The following are some of our comments pertaining to both Alternates #2 and #3:

- The circa-1960’s storefronts should be removed and replaced with new storefront systems, below the existing steel transom windows, which should be retained. These retail storefronts should be single glazed with tempered glass. (\$24,000 approx.)
- The existing wood windows in the west wall arched openings should be refurbished rather than replaced, if they are in reasonably good condition. (\$8,000 approx.)
- The existing service doors should be retained and refurbished if possible, although it may prove impractical if this were to become a tenant entrance. (\$5,000 approx.)
- Consideration should be given to providing metal stud furring and R-11 insulation at the perimeter brick walls. (\$6,000 approx. in either Alternate #2 or #3)
- Consideration should be given to providing R-30 insulation in the ceiling cavity. (\$3,700 approx. in Alternate #2 or \$5,200 approx. in Alternate #3)
- The historic pressed tin ceilings should be retained, refurbished, and made a feature element of the interior spaces. In Alternate #2, the area of tin ceiling that would be lost should be carefully removed and saved as patching material or other reuse. (\$20,000 approx., although a detailed investigation of the ceiling is required.)

In conclusion, if the building were to be either wholly or partially retained, we recommend that the character defining historic features be preserved and the later non-historic modifications be removed, as opposed to the “code compliance and damage repair” approach. This renovation approach would preserve the Scampini Building and highlight its contribution to the historic district, and would be consistent with the City’s and the Developer’s vision for the city block.

By: Dean Randle, AIA

E-mail: dean@argsf.com

CC:

Subject to further revisions during negotiations with prospective Tenants

Vanilla Shell
Description of Landlord's Work

Landlord shall, at its sole cost and expense, construct, furnish and install the following work in each Tenant's space, limited to quantities specified below and referred to "Landlord's Work":

1. **Electrical Service:** 200 amp service for retail tenants and 400 amp service for food/restaurants.
2. **Electrical Outlets:** One (1) duplex outlet for each 20 lineal feet of side demising wall of the space, in a location mutually acceptable to Tenant and Landlord, and one (1) at distribution panel.
3. **Lighting:** Front to rear, recessed 2 feet by 4 feet fluorescent light fixtures (without lamps), panel switched, per Landlord's plans. One (1) lamp per 100 square feet.
4. **Telephone Outlet:** One (1) outlet box at location designated by Landlord, with empty one (1) inch conduit stubbed to floor, located near service area. One (1) duplex box provided with pull string.
5. **HVAC:** HVAC per Landlord's design, sufficient for a typical retail space at a standard rate of one (1) ton for each 250 square feet of interior space. Any special requirements needed because of Tenant's use will be at the sole expense of Tenant.
6. **Storefront:** One (1) entry door with locking hardware, per Landlord's design.
7. **Restroom:** One (1) standard ADA restroom built to handicap specifications consisting of vinyl flooring, one (1) water closet, one (1) lavatory, one (1) incandescent light fixture, one (1) wall outlet, one (1) exhaust fan, and rough-in plumbing for hot water heater (water heater not included), one (1) hand rail, one (1) side rail, one (1) toilet paper dispenser, and one (1) mirror.
8. **Fire Sprinkler:** System installed for unimproved shell per code.
9. **Fire Alarm:** Supplied by Landlord to monitor fire water supply only.
10. **Walls:** Unpainted concrete or unpainted textured (knockdown) drywall over stud, as specified by Landlord.

11. **Ceiling:** *Suspended T-bar acoustical over ceiling area. Standard dropped ceiling height to be 14-16 feet.*
12. **Floor:** *Standard uncolored concrete slab.*
13. **Trash Enclosure:** *Trash enclosure shall be provided to the exterior of the space for Tenants who are operating restaurants or engaged in similar food preparation uses. Tenants who are not operating restaurants or engaged in similar food preparation uses will not have access to exterior trash enclosures. Non-restaurant/food service tenants will receive two (2) 96 gallon totes, one for trash and one for recycling to be placed in designated areas for pick up after normal business hours.*
14. **Grease Traps:** *Landlord shall provide access to grease traps for Tenants who are operating restaurants or similar food preparation uses.*

Appendix F

Native American Correspondence

Andrea Gueyger

To: Andrea Gueyger

Subject: RE: New York Landing Historic District Supplemental EIR - Contra Costa County

Dear Ms. Pilas-Treadway,

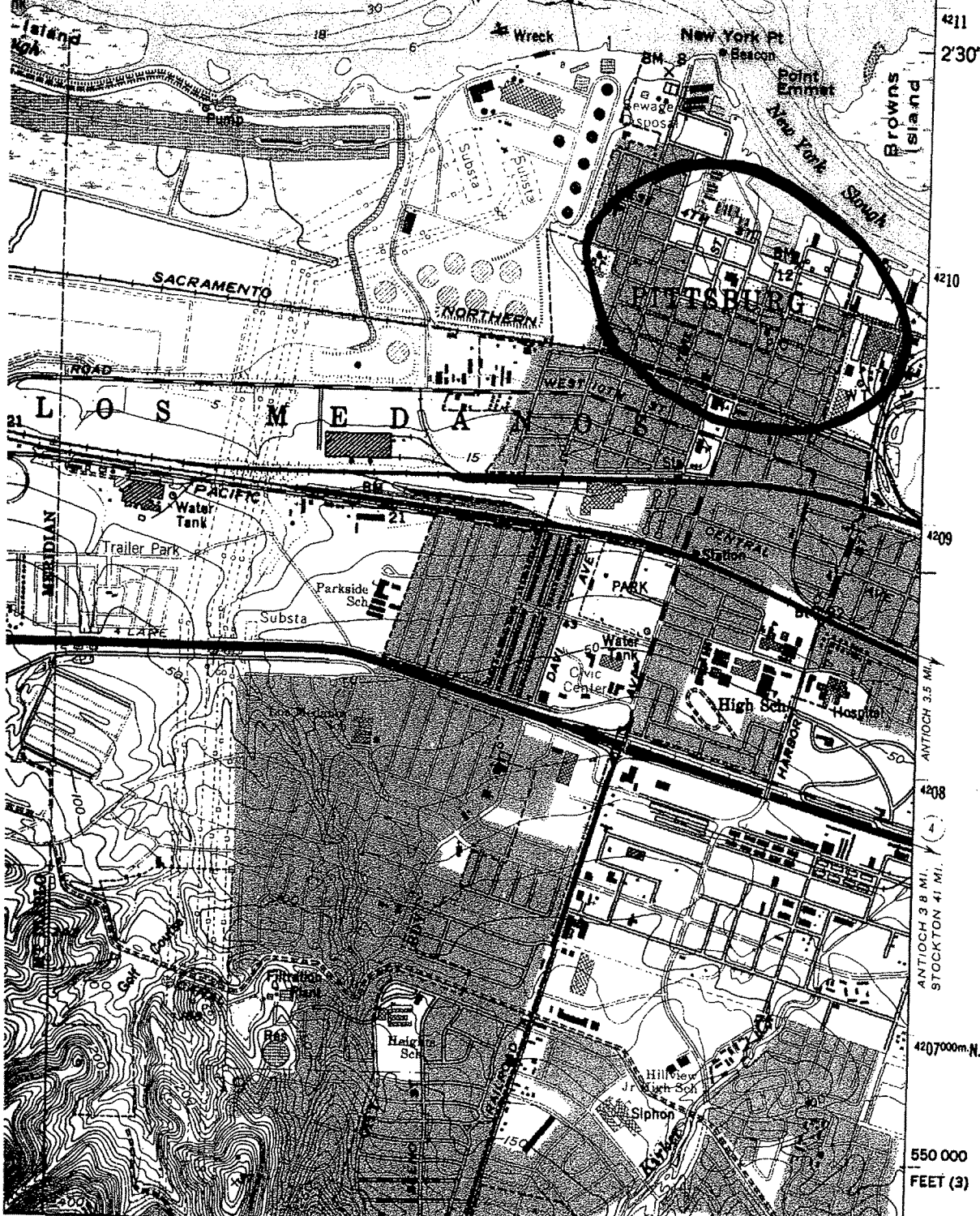
Jones & Stokes has contracted with the City of Pittsburg to conduct a cultural resources inventory for the New York Landing Historic District Supplemental EIR, in Pittsburg, Contra Costa County (see map). The project area located on the Honker Bay 7.5' topographic quadrangle, R1E and T 2N, no section number, and is marked in bold black.

We are seeking information and comments from Native American representatives and would greatly appreciate your sending me a list of those individuals that are interested in planning activities in this area. Also, please consult your inventory of sacred lands forwarding that information to us. The records search for this project area has been completed and indicates there have been no inventories conducted in the project area.

Please contact me if you have any questions about this request: 916 737-3000 ext. 3200 or at agueyger@jsanet.com. Thank you .

Andrea Gueyger
Jones & Stokes

Archaeologist
2600 V Street • Sacramento CA 95818
W: 916.737.3000 • Fx: 737.3030 • M:916.284.5195
agueyger@jsanet.com www.jonesandstokes.com



R. 1 E. INTERIOR—GEOLOGICAL SURVEY, RESTON, VIRGINIA—1988 1:600 000 FEET (3) 38°00'
 596° CLAYTON 6.7 MI. 598000m.E. 121°52'30"
 WALNUT CREEK 15 MI.

ROAD CLASSIFICATION

- Heavy-duty ————— Light-duty —————
- Medium-duty ————— Unimproved dirt - - - - -
- State Route



HONKER BAY, CALIF. *R1E, T2N, No section #*
 SW/4 PITTSBURG 15' QUADRANGLE
 38121-A8-TF-024
 1953
 PHOTOREVISED 1980
 DMA 1680 III SW—SERIES V885

visions shown in purple and woodland compiled from
 ial photographs taken 1979 and other source data
 is information not field checked. Map edited 1980
 rple tint indicates extension of urban areas

UMS

NATIVE AMERICAN HERITAGE COMMISSION

915 CAPITOL MALL, ROOM 364
SACRAMENTO, CA 95814
(916) 653-4082
Fax (916) 657-5390
Web Site www.nahc.ca.gov



November 1, 2006

Andrea Gueyger
Archaeologist

Sent by Fax: 737-3030
Number of Pages: 5

Re: Proposed Bear Valley Village Project, New York Landing Historic District Supplemental EIR, Proposed County of Merced Minor Boundary Change

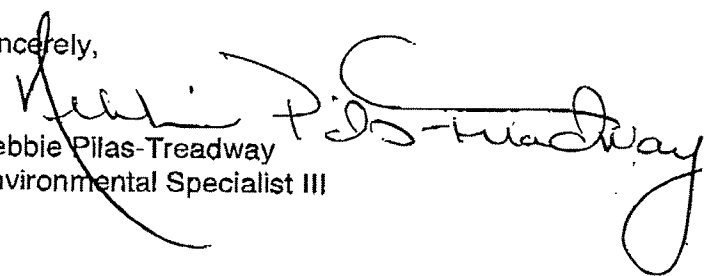
Dear Ms. Gueyger:

A record search of the sacred land file has failed to indicate the presence of Native American cultural resources in the immediate project area. The absence of specific site information in the sacred lands file does not indicate the absence of cultural resources in any project area. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Enclosed is a list of Native Americans individuals/organizations who may have knowledge of cultural resources in the project area. The Commission makes no recommendation or preference of a single individual, or group over another. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated, if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe or group. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from any of these individuals or groups, please notify me. With your assistance we are able to assure that our lists contain current information. If you have any questions or need additional information, please contact me at (916) 653-4038.

Sincerely,


Debbie Pilas-Treadway
Environmental Specialist III

Native American Contacts
Contra Costa County
October 31, 2006

Katherine Erolinda Perez
PO Box 717
Linden, CA 95236
(209) 887-3415
(209) 887-3415- fax

Ohlone/Costanoan
Northern Valley Yokuts
Bay Miwok

The Ohlone Indian Tribe
Andrew Galvan
PO Box 3152
Mission San Jose, CA 94539
chochenyo@AOL.com
(510) 656-0787 - Voice
(510) 882-0527 - Cell
(510) 687-9393 - Fax

Ohlone/Costanoan
Bay Miwok
Plains Miwok
Patwin

Trina Marine Ruano Family
Ramona Garibay, Representative
5816 Thornton Ave
Newark, CA 94560
510-300-5971 - cell

Ohlone/Costanoan
Bay Miwok
Plains Miwok
Patwin

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed New York Landing Historic District Supplement EIR, Contra Costa County.



Jones & Stokes

November 3, 2006

Katherine Perez
PO Box 717
Linden, CA 95236

Re: New York Landing Historic District Supplemental EIR, Contra Costa County

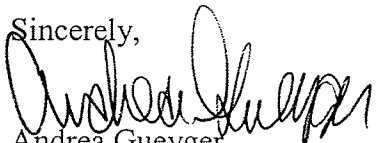
Dear Ms. Perez,

Jones & Stokes has contracted with the City of Pittsburg to conduct a cultural resources inventory for the New York Landing Historic District Supplemental EIR, in Pittsburg, Contra Costa County (see map). The project area is marked in bold black.

A records search has been conducted at the Northwest Information Center of the California Historical Resources Information System, located at Sonoma State University. No previously recorded cultural resources are recorded within the project area. Jones & Stokes has conducted an archaeological survey of the proposed project area. No cultural resources were identified as a result of this survey.

Jones & Stokes is requesting input from the Native American community regarding traditional cultural properties and other issues pertinent to this project. Any information you have regarding Native American sites or traditional cultural properties in the area would be helpful in identifying potential cultural resources issues. Please contact me at 916-737-3000, ext. 3200 or agueyger@jsanet.com if you have any questions or concerns about this project. Thank you for your attention to this matter.

Sincerely,



Andrea Gueyger
Cultural Resources Specialist

enc: map



Jones & Stokes

November 3, 2006

Ramona Garibay
Trina Marine Ruana Family
16010 Halmar Lane
Lathrop, CA 95330

Re: New York Landing Historic District Supplemental EIR, Contra Costa County

Dear Ms. Garibay,

Jones & Stokes has contracted with the City of Pittsburg to conduct a cultural resources inventory for the New York Landing Historic District Supplemental EIR, in Pittsburg, Contra Costa County (see map). The project area is marked in bold black.

A records search has been conducted at the Northwest Information Center of the California Historical Resources Information System, located at Sonoma State University. No previously recorded cultural resources are recorded within the project area. Jones & Stokes has conducted an archaeological survey of the proposed project area. No cultural resources were identified as a result of this survey.

Jones & Stokes is requesting input from the Native American community regarding traditional cultural properties and other issues pertinent to this project. Any information you have regarding Native American sites or traditional cultural properties in the area would be helpful in identifying potential cultural resources issues. Please contact me at 916-737-3000, ext. 3200 or agueyger@jsanet.com if you have any questions or concerns about this project. Thank you for your attention to this matter.

Sincerely,



Andrea Gueyger
Cultural Resources Specialist

enc: map



Jones & Stokes

November 3, 2006

The Ohlone Indian Tribe
Andrew Galvan
PO Box 3152
Mission San Jose, CA 94539

Re: New York Landing Historic District Supplemental EIR, Contra Costa County

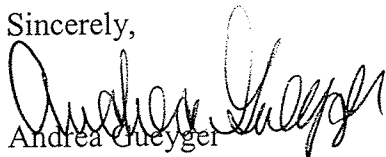
Dear Mr. Galvan,

Jones & Stokes has contracted with the City of Pittsburg to conduct a cultural resources inventory for the New York Landing Historic District Supplemental EIR, in Pittsburg, Contra Costa County (see map). The project area is marked in bold black.

A records search has been conducted at the Northwest Information Center of the California Historical Resources Information System, located at Sonoma State University. No previously recorded cultural resources are recorded within the project area. Jones & Stokes has conducted an archaeological survey of the proposed project area. No cultural resources were identified as a result of this survey.

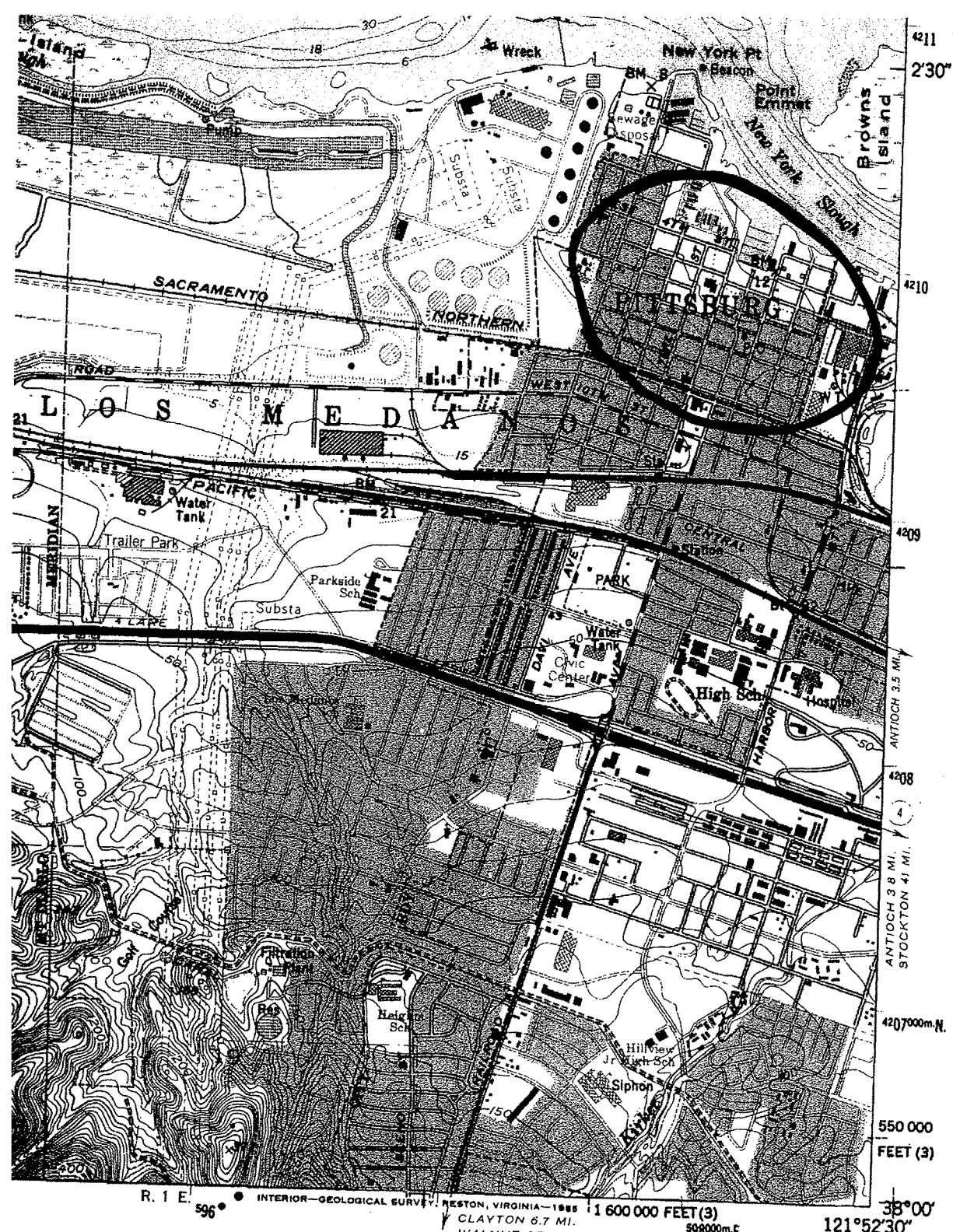
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Sincerely,



Andrea Gueyger
Cultural Resources Specialist

enc: map



R. 1 E. 596 • INTERIOR—GEOLOGICAL SURVEY, RESTON, VIRGINIA—1985 1 600 000 FEET (3)
 CLAYTON 6.7 MI. 598000m.E. 121°52'30"

ROAD CLASSIFICATION

Heavy-duty	—————	Light-duty	—————
Medium-duty	—————	Unimproved dirt	- - - - -

○ State Route

(ANTIOCH SOUTH)
 1658 N NE



QUADRANGLE LOCATION

HONKER BAY, CALIF. R1E, T2N, No Section #
 SW/4 PITTSBURG 15' QUADRANGLE
 38121-A8-TF-024
 1953
 PHOTOREVISED 1980
 DMA 1680 III SW—SERIES V895

itions shown in purple and woodland compiled from
 al photographs taken 1979 and other source data
 information not field checked. Map edited 1980
 ple tint indicates extension of urban areas